

Heber Public Utility District

Report to the Board of Directors

Date: September 15, 2022
From: Laura Fischer, General Manager
Subject: General Managers Report to Board of Directors

HPUD ADMINISTRATION

IID Water Allotment

HPUD staff is still working with IID to ensure we have enough water for our customers. Our current allotment has been adjusted, but staff must keep a watch on our use and request a transfer from the Clearinghouse if needed. Staff is also collecting records necessary to justify the water transfer.

HPUD Elections

The filing period for HPUD Board of Directors election is closed. We currently have three Director seats up for election, and we have four people on the ballot. Elections will be held on Tuesday, November 9, 2022.

HPUD Newsletter

We sent out our newsletter through our new platform Granicus and Gov Delivery. We have over 3,000 email addresses in our Granicus file and an electronic newsletter was sent to all of them. Our engagement rate increased from 47% to 69%. This means that 69% of the 3,000 newsletter sent to our customers online were opened. See the report from Gov Delivery attached.

CSDA Annual Conference in Palm Desert August 22-25.

Two HPUD staff members, Finance Manager and Office Manager, attended the Annual Conference. Although Directors Garcia and Matus signed up, they were unable to attend. We were able to get credit and a refund for Director Garcia's cancellation.

CSDA Leadership Academy – Second Session in Napa September 18-21.

Director Diaz-Molina will be attending this training.

CSDA Board Secretary Conference in Monterey November 7-9.

Board Secretary, Moises Cardenas will be attending this training.

HPUD Audit.

HPUD staff has started working with our auditor and we are on track to have a draft in November.

Heber Meadows CFD Administrative Account Audit.

When staff was working on the Nexus Study for the Heber Meadows CFD, we realized that we need to know if Heber PUD has been pulling our allocated Administrative Fees from the CFD into our HPUD account. Our CFD Consultant, Willdan, is working with HPUD staff and Wells

Fargo Bank to perform an administrative account audit. The cost for the audit will be paid from Heber Meadows CFD funds. Staff will report to you when this audit is completed.

HPUD Board Member - Mandatory Training

AB 1234 training link:

<https://members.csga.net/imis1/ItemDetail?iProductCode=WEB2022ETHICS>

Harassment Training link:

<https://members.csga.net/imis1/ItemDetail?iProductCode=WEB2022SHP>

If you have difficulty accessing these training links, please contact me or Moises. Please print the certificate of completion for the training and provide it to Moises.

AB1234 and Harassment training must be completed every two years, and all of our Board Members need to take the training this year.

CalPERS Pension Prefunding Trust workshop. This workshop will be held this week in San Diego, and our Finance Manager will be attending.

Nexus Study

Staff continues to work with The Holt Group to prepare the Nexus Study for presentation to the Board of Directors. We are working to have this study on the September agenda.

Developer and Engineer Report

Miraluz. Attached please find the latest plans from Miraluz development.

Heberwood. Staff has also received notice that Heberwood subdivision is moving into phase 3 with four new homes starting construction.

Dollar General. Staff has received word that the property owner of the corner lot at Highway 86 and Clifford, has submitted a lot split that will allow for the development of the Dollar General.

HPUD OPERATIONS

Sewer Department

Staff has been working on repairing a couple of manhole lids that are loose. We are working to get the manhole project started and the emergency repairs to the lift station.

Water Department

We had a water service disruption in August. We had a power surge and brownout that caused one of our variable frequency drives (VFD) to overheat, smoke and trip all of our breakers in the distribution system. Staff responded quickly and bypassed the affected VFD and re-started the distribution system within 30 minutes or less. Our SCADA system did not send out an alarm for the disruption. Staff took bacteria test samples and all test came back negative.

Finance Department

Account Shut Off

As you know we implemented the late fee and shut offs in January 2022. We shut off four customers for nonpayment in July. All of these customers paid and services were restored on the same day. Currently we have 328 customers who are late paying for August. Currently we have 19 customers on payment schedules.

Audit

We have started collecting and submitting materials and information for the audit of FY 2021-22. Staff is busy getting ready for the auditor's visit in August.

===== MONTHLY DISTRIBUTION =====

TYPE	MONTH	ACCOUNTS	AMOUNT	NOTE
CUTOFF	Mar-22	7	\$ 420.00	Accounts were disconnected for the non-payment for the Jan 2022 BILL - All accounts were reinstated the same day, non of the account entered into a payment arrangement
	Apr-22	7	\$ 420.00	Account were disconnected for the non-payment for the Feb 2022 BILL -All accounts were reinstated the same day, only 1 account entered into a payment arrangement
	May-22	5	\$ 300.00	Account were disconnected for the non-payment for the Mar. 2022 BILL -All accounts were reinstated the same day or next day
	Jun-22	6	\$ 360.00	Account were disconnected for the non-payment for the April 2022 BILL -All accounts were reinstated the same day.
		CUTOFF TOTAL	\$ 1,500.00	

LATE CHARGE	Jan-22	388	\$ 5,820.00
	Feb-22	327	\$ 4,905.00
	Mar-22	272	\$ 4,080.00
	Apr-22	352	\$ 5,280.00
	May-22	312	\$ 4,680.00
	Jun-22	285	\$ 4,275.00
		LATE FEE TOTAL	\$ 29,040.00

TRACT 00992 MIRALUZ

BEING LOT D OF HEBER MEADOWS TRACT 956 UNIT 1, AS SHOWN BY MAP FILED IN BOOK 23 OF MAPS, PAGE 39-43, RECORDS OF THE COUNTY OF IMPERIAL, STATE OF CALIFORNIA, SAID LANDS BEING LOCATED IN A PORTION OF SECTION 27, TOWNSHIP 16 SOUTH, RANGE 14 EAST, SAN BERNARDINO MERIDIAN,
BENJAMIN DANIEL EGAN, PE, PLS 8756 JUNE 2022

OWNERS STATEMENT

WE HEREBY STATE THAT WE ARE THE OWNERS OF THE LAND INCLUDED WITHIN THE SUBDIVISION SHOWN HEREON; THAT WE ARE THE ONLY PERONS WHOSE CONSENT IS NECESSARY TO PASS A CLEAR TITLE TO SAID LAND; THAT WE CONSENT TO THE MAKING AND RECORDING OF THIS SUBDIVISION MAP AS SHOWN WITHIN THE DISTINTIVE BORDER LINE.

THE REAL PROPERTY DESCRIBED BELOW IS DEDICATED AS AN EASEMENT FOR PUBLIC PURPOSES: LOT "A" - "CORRELL COURT (PRIVATE STREET) - THE DEDICATION IS FOR PUBLIC UTILITY PURPOSES.

THE REAL PROPERTY DESCRIBED BELOW IS DEDICATED AS AN EASEMENT FOR PUBLIC PURPOSES: 10' PUBLIC UTILITY EASEMENT SHOWN HEREON - THE DEDICATION IS FOR PUBLIC UTILITY PURPOSES.

THE REAL PROPERTY DESCRIBED BELOW IS DEDICATED AS AN EASEMENT FOR PUBLIC PURPOSES: 10' DOMESTIC WATER LINE EASEMENT SHOWN HEREON - THE DEDICATION IS FOR PUBLIC UTILITY PURPOSES.

THE REAL PROPERTY DESCRIBED BELOW IS DEDICATED AS AN EASEMENT FOR PUBLIC PURPOSES: 15' STORM DRAIN LINE EASEMENT SHOWN HEREON - THE DEDICATION IS FOR PUBLIC DRAINAGE FACILIY PURPOSES AND PUBLIC UTILITY PURPOSES.

HEBER MEADOWS CIC,
A CALIFORNIA LIMITED PARTNERSHIP

SIGNATURE

PRINT NAME AND TITLE DATE

NOTARY ACKNOWLEDGMENT

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

STATE OF CALIFORNIA) S.S.
COUNTY OF RIVERSIDE)
ON _____, 20____, BEFORE ME, _____ A NOTARY PUBLIC, PERSONALLY APPEARED _____, WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON (S) WHOSE NAME (S) IS / ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE / SHE / THEY EXECUTED THE SAME IN HIS / HER / THEIR AUTHORIZED CAPACITY (IES), AND THAT BY HIS / HER / THEIR SIGNATURE ON THE INSTRUMENT, THE PERSON (S) OR THE ENTITY UPON BEHALF OF WHICH THE PERSON (S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND:
SIGNATURE _____ NAME _____
NOTARY PUBLIC IN AND FOR SAID STATE
MY COMMISSION EXPIRES _____
MY COMMISSION NUMBER _____
MY PRINCIPAL PLACE OF BUSINESS IS IN _____ COUNTY.

SUPPORTING DOCUMENTS

TITLE: SUBDIVISION GUARANTEE DOCUMENT NO. _____
TITLE: IMPROVEMENT AGREEMENT DOCUMENT NO. _____
TITLE: TAX CERTIFICATE DOCUMENT NO. _____
TITLE: _____ DOCUMENT NO. _____
TITLE: _____ DOCUMENT NO. _____
TITLE: _____ DOCUMENT NO. _____

LEGAL DESCRIPTION

REAL PROPERTY IN THE UNINCORPORATED AREA OF THE COUNTY OF IMPERIAL, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

LOT D, OF HEBER MEADOWS TRACT 956 UNIT NO. 1, IN THE COUNTY OF IMPERIAL, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 23, PAGES 39 THROUGH 43 INCLUSIVE OF FINAL MAPS, RECORDS OF IMPERIAL COUNTY, CALIFORNIA.

EXCEPTING THEREFROM AS MINERAL INTEREST AND NOT AS A ROYALTY INTEREST, ONE HUNDRED PERCENT (100%) OF ALL OIL, GAS AND OTHER HYDROCARBONS, GEOTHERMAL RESOURCES AND DEFINED IN SECTION 6903 OF THE CALIFORNIA PUBLIC RESOURCES CODE AND ALL OTHER MINERALS, WHETHER SIMILAR TO THOSE HEREIN SPECIFIED OR NOT, WITHIN OR THAT MAY BE PRODUCED FROM SAID REAL PROPERTY BELOW A DEPTH OF 500 FEET AND TO PRODUCE, INJECT, STORE AND REMOVE FROM OR THROUGH SUCH WELL OR WORKS, OIL, GAS AND OTHER SUBSTANCES OF WHATEVER NATURE, INCLUDING THE RIGHT TO PERFORM ANY AND ALL OPERATIONS DEEMED BY THE IRVINE COMPANY NECESSARY OR CONVENIENT FOR THE EXERCISE OF SUCH MINERAL RIGHTS, THEN TO THE THEN OWNER OF THE REAL PROPERTY GRANTED HEREINABOVE TO BEN ABATTI, MARGARET L. ABATTI, TONY ABATTI AND NINFA ABATTI, AS RESERVED BY THE IRVINE COMPANY, A MICHIGAN CORPORATION IN DEED RECORDED JULY 29, 1983 AS INSTRUMENT NO. 102 IN BOOK 1505, PAGE 1312 OF OFFICIAL RECORDS.

SOILS REPORT

A SOILS REPORT HAS BEEN PREPARED SPECIFICALLY FOR THIS SUBDIVISION BY: LANDMARK CONSULTANTS, INC. LCI REPORT NO. LE20178, DATED DECEMBER 23, 2020, SAID REPORT IS ON FILE IN THE OFFICE OF THE COUNTY SURVEYOR OF IMPERIAL COUNTY AND IS AVAILABLE FOR PUBLIC INSPECTION.

SIGNATURE OMISSION STATEMENT

PERSUANT TO SECTION 66436 OF THE SUBDIVISION MAP ACT, THE SIGNATURES OF THE FOLLOWING PARTIES HAVE BEEN OMITTED IN THAT THEIR INTERESTS CANNOT RIPEN INTO FEE.

6. IMPERIAL IRRIGATION DISTRICT, HOLDER OF AN EASEMENT FOR CONSTRUCTION, MAINTENANCE AND/OR USE OF A CANAL, TELEPHONE AND/OR ELECTRIC POWER LINE OR LIENS AND INCIDENTAL PURPOSES, RECORDED JANUARY 20, 1944 AS BOOK 612, PAGE 331 OF OFFICIAL RECORDS. (NOT PLOTTABLE)
8. IMPERIAL IRRIGATION DISTRICT, HOLDER OF AN EASEMENT FOR CANAL, TELEPHONE AND/OR ELECTRIC POWER LINE OR LINES AND INCIDENTAL PURPOSES, RECORDED FEBRUARY 27, 1959 AS INSTRUMENT NO. 8 IN BOOK 1016, PAGE 595 OF OFFICIAL RECORDS.
9. MARY E. RICE, HOLDER OF AN EASEMENT FOR TRANSPORTATION OF THE WATER IN A DITCH OR PIPE LINE AND INCIDENTAL PURPOSES, RECORDED OCTOBER 31, 1962 AS INSTRUMENT NO. 59 IN BOOK 1126, PAGE 441 OF OFFICIAL RECORDS. (NOT PLOTTABLE)
10. THE CALIFORNIA DEVELOPMENT COMPANY, NOW KNOWN AS THE IMPERIAL IRRIGATION DISTRICT, HOLDER OF RIGHTS IT MAY HAVE ACQUIRED FOR RIGHT OF WAY UNDER THE ACT OF MARCH 3, 1891 (26 STAT. 1101) 43 USC SS946-950, BY THE FILING AND APPROVAL OF MAPS OF DEFINITE LOCATION IN THE DISTRICT LAND OFFICE, PRIOR TO THE DISPOSITION OF SAID LAND BY THE UNITED STATES OF AMERICA, LYING WITHIN THE BOUNDS OF CENTRAL 3-D DRAIN, DAFFODIL CANAL, CENTRAL 3-D NO. 1

COUNTY RECORDER'S STATEMENT

FILED THIS _____ DAY OF _____, 2022, AT _____ M. IN BOOK _____ OF FINAL MAPS AT PAGE _____. AT THE REQUEST OF THE CLERK OF THE BOARD.

SIGNED: _____
CHUCK STOREY, COUNTY RECORDER

SURVEYOR'S STATEMENT

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE REQUIREMENTS OF THE SUBDIVISION MAP ACT AND LOCAL ORDINANCE AT THE REQUEST OF CHELSEA INVESTMENT CORPORATION ON AUGUST 26, 2020. I HEREBY STATE THAT ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED, AND THAT SAID MONUMENTS ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED. I HEREBY STATE THAT THIS PARCEL MAP SUBSTANTIALLY CONFORMS TO THE APPROVED OR CONDITIONALLY APPROVED TENTATIVE MAP, IF ANY.

DATED: _____, 2022

BENJAMIN DANIEL EGAN, PLS 8756



COUNTY SURVEYOR'S STATEMENT

I, TIMOTHY J. REILLY, COUNTY SURVEYOR OF THE COUNTY OF IMPERIAL, HEREBY STATE : THAT I HAVE EXAMINED THIS MAP: THAT THE SUBDIVISION SHOWN IS SUBSTANTIALLY THE SAME AS IT APPEARED ON THE TENTATIVE MAP AND ANY APPROVED ALTERATIONS THEREOF: THAT ALL PROVISIONS OF CHAPTER 2, TITLE 7 OF THE GOVERNMENT CODE OF THE STATE OF CALIFORNIA AND DIVISION 8, TITLE 9 OF THE CODIFIED ORDINANCE OF IMPERIAL COUNTY HAVE BEEN COMPLIED WITH; AND, THAT I AM SATISFIED THAT THE MAP IS TECHNICALLY CORRECT.

TIMOTHY J. REILLY DATE
PLS 8759
IMPERIAL COUNTY SURVEYOR
LICENSE EXPIRATION DATE: 12-31-20____



TITLE COMPANY STATEMENT

THE UNDERSIGNED HEREBY CERTIFIES THAT THE PERSONS SPECIFIED IN THE OWNERS STATEMENT SHOWN HEREON ARE THE OWNERS AND THE ONLY ONES WHOSE CONSENT IS NECESSARY TO PASS TITLE TO THE LAND WITHIN THIS SUBDIVISION.

JESUS DURAN, TITLE OFFICER
FIRST AMERICAN TITLE COMPANY

COUNTY PLANNING DIRECTOR'S STATEMENT

I, HEREBY CERTIFY THAT THIS MAP, CONFORMS WITH THE TENTATIVE MAP PREVIOUSLY APPROVED FOR THIS SUBDIVISION.

JIM MANICK, PLANNING DIRECTOR
COUNTY OF IMPERIAL

CLERK OF THE BOARD OF STATEMENT

I, HEREBY STATE THAT ALL REQUIRES CERTIFICATES, SECURITY AND DOCUMENTS HAVE BEEN FILED. I HEREBY SUBMIT THIS MAP TO THE OFFICE OF THE COUNTY RECORDER.

BLANCA ACOSTA DATE
CLERK OF THE BOARD OF SUPERVISORS

BOARD OF SUPERVISOR'S STATEMENT

THE COUNTY OF IMPERIAL, STATE OF CALIFORNIA, BY ITS BOARD OF SUPERVISORS, HERE APPROVES THE TRACT MAP AND ACCEPTS THE OFFERS OF DEDICATION MADE HEREON FOR PUBLIC ROAD AND PUBLIC UTILITY PURPOSES, AND AS PART OF THE COUNTY MAINTAINED ROAD SYSYTEM SUBJECT TO IMPROVEMENTS ACCORDING TO CITY STANDARDS.

CHAIRMAN OF THE BOARD OF SUPERVISORS DATE

ATTEST, CLERK OF THE BOARD OF SUPERVISORS DATE

TRACT 00992 MIRALUZ

BEING LOT D OF HEBER MEADOWS TRACT 956 UNIT 1, AS SHOWN BY MAP FILED IN BOOK 23 OF MAPS, PAGE 39-43, RECORDS OF THE COUNTY OF IMPERIAL, STATE OF CALIFORNIA, SAID LANDS BEING LOCATED IN A PORTION OF SECTION 27, TOWNSHIP 16 SOUTH, RANGE 14 EAST, SAN BERNARDINO MERIDIAN,
BENJAMIN DANIEL EGAN, PE, PLS 8756 JUNE 2022

DATUM STATEMENT

COORDINATES SHOWN HEREON ARE IN TERMS OF THE CALIFORNIA COORDINATE SYSTEM (CCS83), ZONE VI, (EPOCH 2017.50), BASED LOCALLY UPON THE FOLLOWING CONTINUOUS GPS CONTROL STATIONS AS PUBLISHED BY THE SCRIPPS ORBIT AND PERMANENT ARRAY CENTER (SOPAC) AND THE CALIFORNIA SPATIAL REFERENCE CENTER (CSRC):

P496 N. 1,853,522.442 E. 6,762,766.164
P744 N. 1,882,357.153 E. 6,789,479.910

THE PUBLISHED CSRC 2-SIGMA VALUES FOR STATIONS COTD, PIN1 AND P491 INDICATE THAT ALL THREE STATIONS CONFORM TO FGDC ACCURACY CLASSIFICATION OF 5-MILLIMETER AT THE 95% CONFIDENCE LEVEL.

COORDINATES DEPICTED ON THE PUBLIC RESOURCE CODE GEODETIC CONTROL DIAGRAM WERE DERIVED UTILIZING A COMBINATION OF STATIC AND FAST STATIC GPS PROCEDURES. STATIC GPS OBSERVATIONS WERE PERFORMED ON SEPTEMBER 2, 2020 UTILIZING TWO SPECTRA PRECISION SP80 GPS RECEIVERS. VECTORS FOR THE BASE STATIONS WERE POST-PROCESSED TO CSRC STATIONS P496 AND P744 USING STARNET V10 SOFTWARE UTILIZING CCS83 ZONE 6 PROJECTION TABLES AS DEFINED IN SECTIONS 8802 AND 8808 OF THE CALIFORNIA PUBLIC RESOURCE CODE AND UTILIZING THE GEOD 12B GEOD MODEL AS PUBLISHED BY THE NATIONAL GEODETIC SURVEY. FAST STATIC OBSERVATIONS WERE COLLECTED ON THE SAME DAY UTILIZING A SPECTRA PRECISION SP80 GPS RECEIVER COLLECTING A MINIMUM OF 360 EPOCHS AT 1 SECOND INTERVALS. FAST STATIC OBSERVATIONS WERE SUBSEQUENTLY PROCESSED UTILIZING THE POST-PROCESSED VECTORS OF THE AFOREMENTIONED BASE STATIONS UTILIZING THE SAME SOFTWARE, MODELS AND PROCEDURES OUTLINED ABOVE. ACCURACY OF THE EPOCH 2017.50 COORDINATES FOR FOUND MONUMENTS [1] AND [2] AS SHOWN ON THE "EPOCH 2017.50 COORDINATE INFORMATION" TABLE HEREON MEET FGDC ACCURACY CLASSIFICATION 2-CENTIMETER AT 95% CONFIDENCE LEVEL.

COORDINATES SHOWN HEREON ARE EXPRESSED IN TERMS OF THE US SURVEY FOOT AS DEFINED IN SECTION 8810 OF THE PUBLIC RESOURCES CODE. (ONE FOOT = 1200/3937 METERS).

UNLESS OTHERWISE NOTED, ALL BEARINGS AND DISTANCES SHOWN HEREON ARE IN GROUND. TO CONVERT GRID INVERSE DISTANCES SHOWN HEREON TO GROUND DISTANCES, DIVIDE GRID DISTANCES BY A COMBINED FACTOR OF 1.0000139613 TO OBTAIN GROUND DISTANCES.

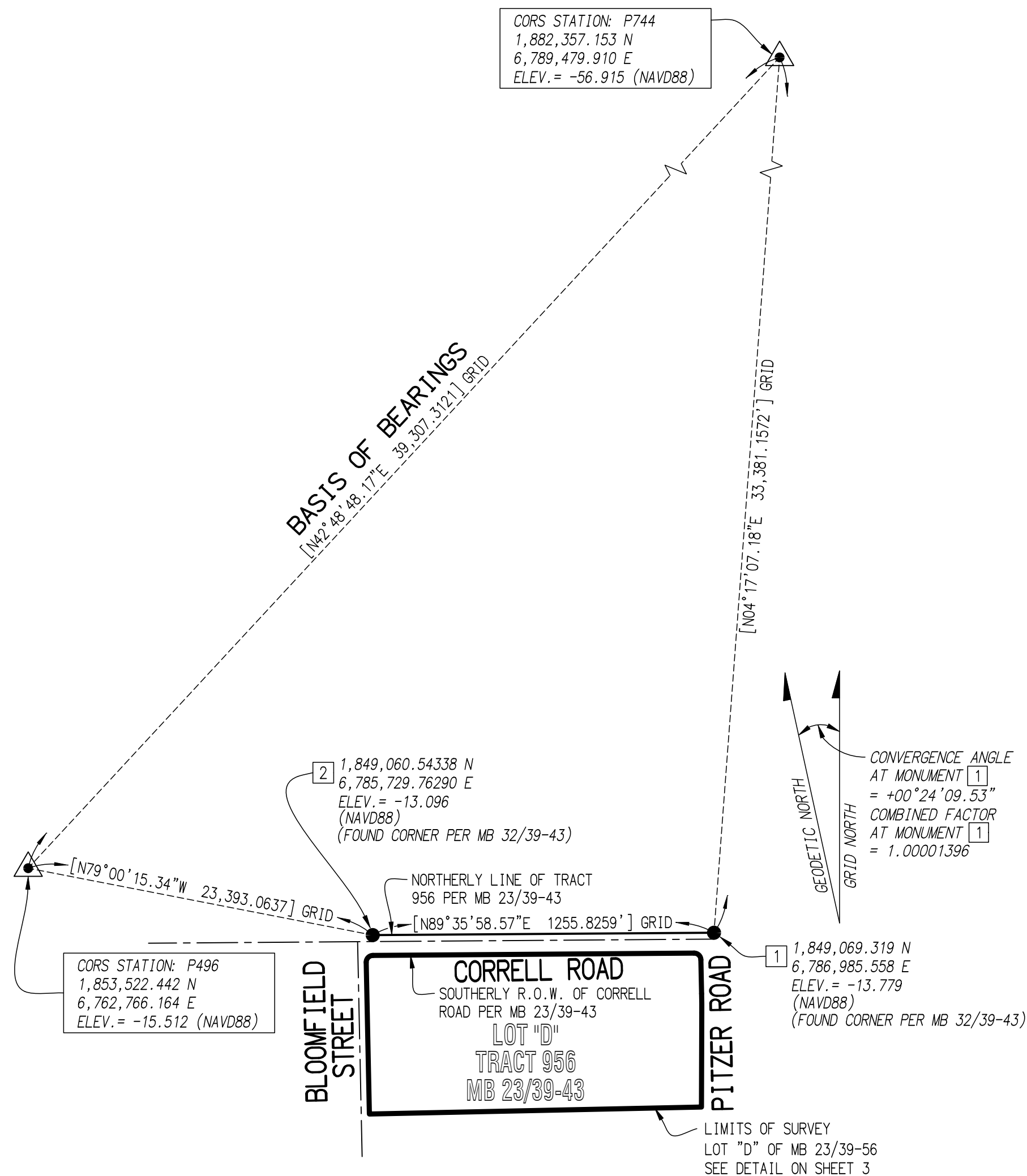
CALCULATIONS FROM GRID TO GROUND VALUES AND THE CONVERGENCE ANGLE FOR THIS SURVEY WERE MADE AT POINT NUMBER [1] WITH COORDINATES OF N. 1,849,069.319, E. 6,786,985.558, USING AN ELEVATION OF -13.779 FEET (NAVD88).

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY ARE BASED ON THE CALIFORNIA COORDINATE SYSTEM (CCS83), ZONE VI, (2017.50 EPOCH) AS PER GRID INVERSE CALCULATIONS BETWEEN CONTINUOUSLY OPERATING REFERENCE (C.O.R.S.) STATIONS P491 AND PIN1 PER PUBLISHED VALUES PROVIDED BY THE SCRIPPS ORBIT AND PERMANENT ARRAY CENTER (S.O.P.A.C.), BEING: NORTH 42° 48' 48.17" EAST.

LEGEND:

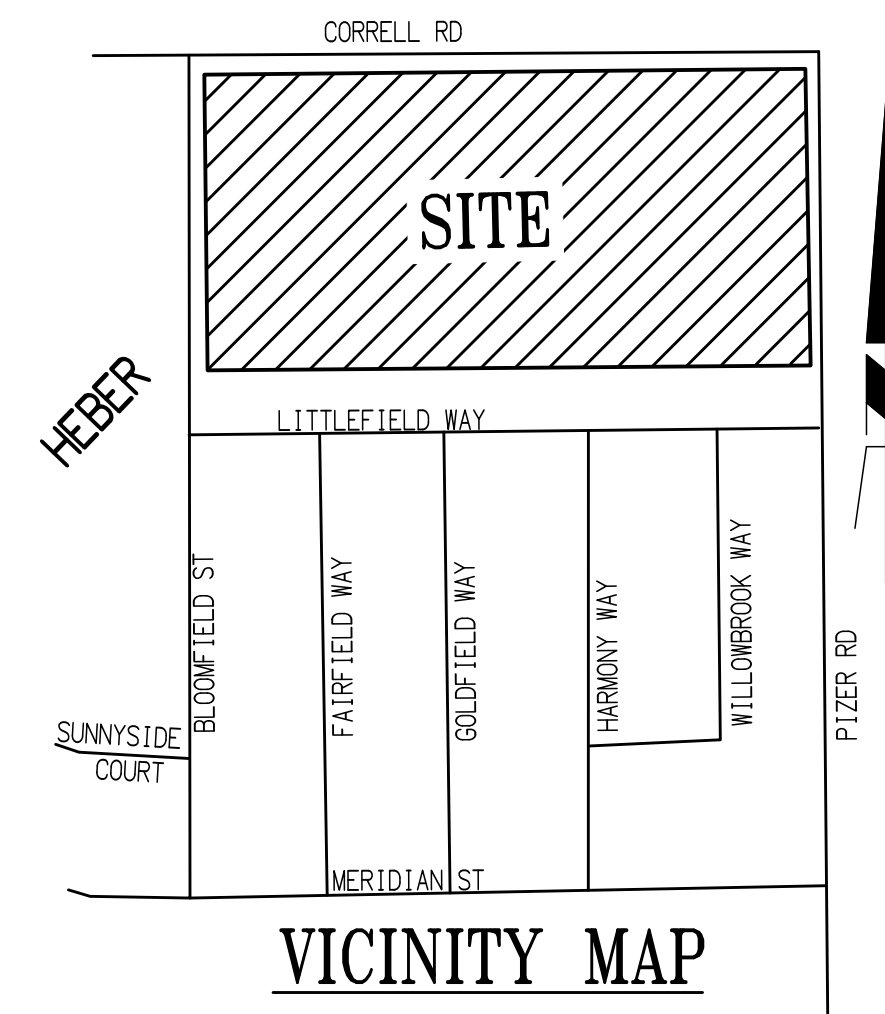
C/L	CENTERLINE	R/W	RIGHT OF WAY
COR.	CORNER	RAD	RADIAL
CR	CORNER RECORD	RP	RADIAL POINT
C.S.F.B.	CO. SURVEYORS FIELD BOOK	RS	RECORD OF SURVEY
DN	DOWN	PMB	PARCEL MAP BOOK
E	EAST	S	SOUTH
EST.	ESTABLISHED	SEC.	SECTION
IP	IRON PIPE	S.F.N.	SEARCHED, FOUND
M	MEASURED		NOTHING
MON.	MONUMENT	U.N.O.	UNLESS NOTED OTHERWISE
N	NORTH	W	WEST
REF.	REFERENCE	WC	WITNESS CORNER



PUBLIC RESOURCE CODE GEODETIC CONTROL DIAGRAM

(THIS DIAGRAM PROVIDED FOR COMPLIANCE WITH SECTION 8813.1, 8813.2 AND 8813.3 OF THE PUBLIC RESOURCE CODE)

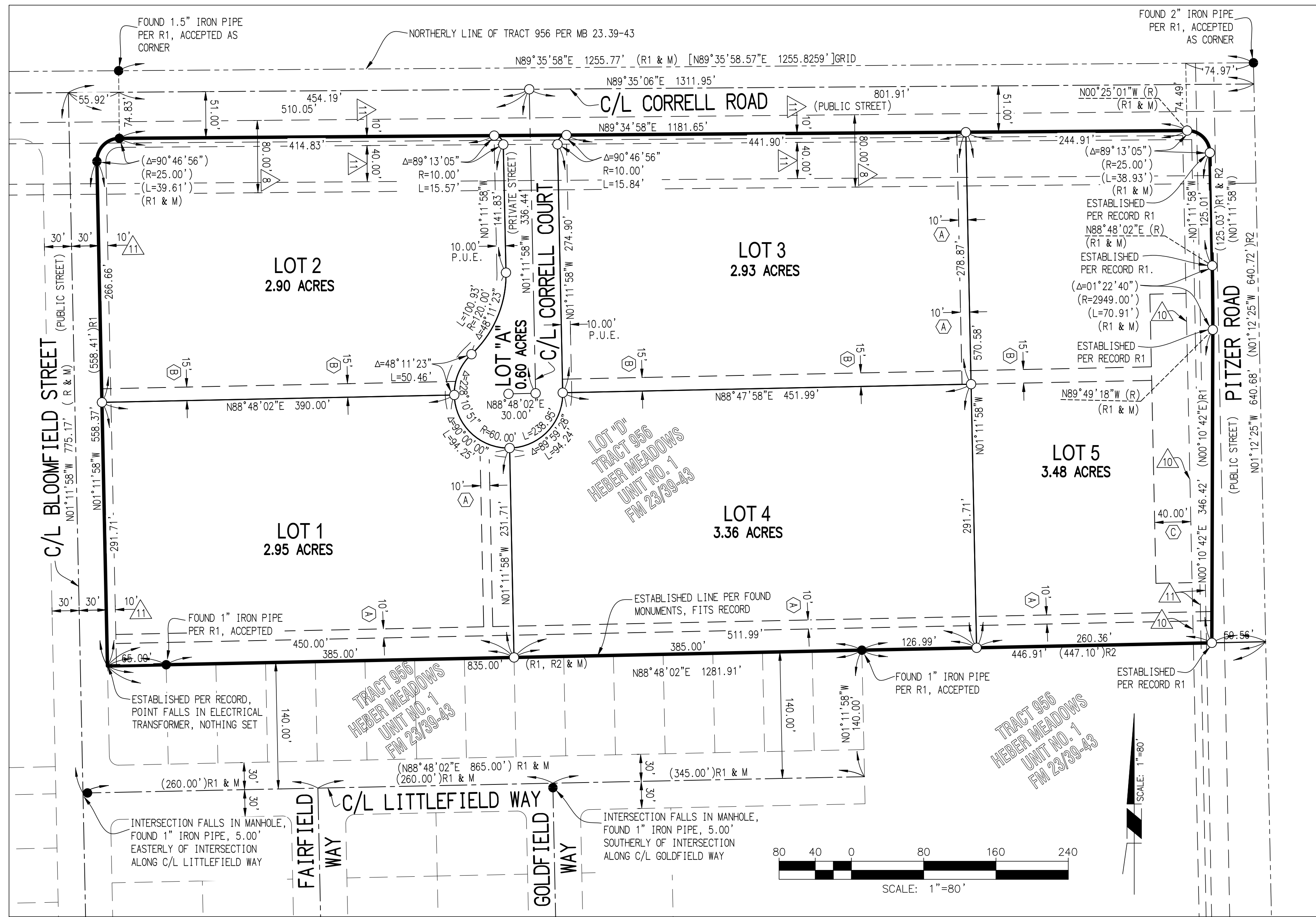
EPOCH 2017.50 COORDINATE INFORMATION						
POINT ID	NORTHING(CCS83) (US SURVEY FT)	EASTING(CCS83) (US SURVEY FT)	ELEVATION (NAVD88)	COMBINED FACTOR	CONVERGENCE ANGLE	DESCRIPTION OF CONTROL POINT
P496	1,853,522.442	6,762,766.164	-15.512	1.00001178	0-21-33.90	CORS STN - P496
P744	1,882,357.153	6,789,479.910	-56.915	1.00000082	0-24-27.10	CORS STN - P744
[1]	1,849,069.319	6,786,985.558	-13.779	1.00001396	0-24-09.53	-----
[2]	1,849,060.543	6,785,729.763	-13.096	1.00001393	0-24-01.45	-----



NOTE: SEE SHEET 3 FOR BOUNDARY INFORMATION, LOT DETAILS AND EASEMENTS

TRACT 00992 MIRALUZ

BEING LOT D OF HEBER MEADOWS TRACT 956 UNIT 1, AS SHOWN BY MAP FILED IN BOOK 23 OF MAPS, PAGE 39-43, RECORDS OF THE COUNTY OF IMPERIAL, STATE OF CALIFORNIA, SAID LANDS BEING LOCATED IN A PORTION OF SECTION 27, TOWNSHIP 16 SOUTH, RANGE 14 EAST, SAN BERNARDINO MERIDIAN,
BENJAMIN DANIEL EGAN, PE, PLS 8756 JUNE 2022



EASEMENTS

6. AN EASEMENT IN FAVOR OF IMPERIAL IRRIGATION DISTRICT FOR CONSTRUCTION, MAINTENANCE AND/OR USE OF A CANAL, TELEPHONE AND/OR ELECTRIC POWER LINE OR LIENS AND INCIDENTAL PURPOSES, RECORDED JANUARY 20, 1944 AS BOOK 612, PAGE 331 OF OFFICIAL RECORDS. (NOT PLOTTABLE)
8. AN EASEMENT IN FAVOR OF IMPERIAL IRRIGATION DISTRICT FOR CANAL, TELEPHONE AND/OR ELECTRIC POWER LINE OR LINES AND INCIDENTAL PURPOSES, RECORDED FEBRUARY 27, 1959 AS INSTRUMENT NO. 8 IN BOOK 1016, PAGE 595 OF OFFICIAL RECORDS.
9. AN EASEMENT IN FAVOR OF MARY E. RICE FOR TRANSPORTATION OF THE WATER IN A DITCH OR PIPE LINE AND INCIDENTAL PURPOSES, RECORDED OCTOBER 31, 1962 AS INSTRUMENT NO. 59 IN BOOK 1126, PAGE 441 OF OFFICIAL RECORDS. (NOT PLOTTABLE)
10. SUCH RIGHTS AS THE CALIFORNIA DEVELOPMENT COMPANY, NOW KNOWN AS THE IMPERIAL IRRIGATION DISTRICT, MAY HAVE ACQUIRED FOR RIGHT OF WAY UNDER THE ACT OF MARCH 3, 1891 (26 STAT. 1101) 43 USC SS946-950, BY THE FILING AND APPROVAL OF MAPS OF DEFINITE LOCATION IN THE DISTRICT LAND OFFICE, PRIOR TO THE DISPOSITION OF SAID LAND BY THE UNITED STATES OF AMERICA, LYING WITHIN THE BOUNDS OF CENTRAL 3-D DRAIN, DAFFODIL CANAL, CENTRAL 3-D NO. 1
11. AN EASEMENT SHOWN ON FINAL MAP FILED IN BOOK 23, PAGWS 39 THROUGH 43, INCLUSIVE, FOR DRAINAGE, PUBLIC UTILITY AND POWER LINE AND INCIDENTAL PURPOSES.

- (A) 10' EASEMENT FOR DOMESTIC WATER LINES DEDICATED HEREON
- (B) 15' EASEMENT FOR STORM DRAIN LINES DEDICATED HEREON

RECORD DATA:

() DENOTES RECORD DATA PER MAP FILED IN BOOK 32, PAGES 39 TO 43 OF FINAL MAPS

MONUMENT NOTES:

- DENOTES FOUND MONUMENT PER MAP FILED IN BOOK 32, PAGES 39 TO 43 OF FINAL MAPS
- INDICATES SET 1" IRON PIPE W/ TAG STAMPED "LS 8756" FLUSH, U.N.O.

AREA TABULATION:

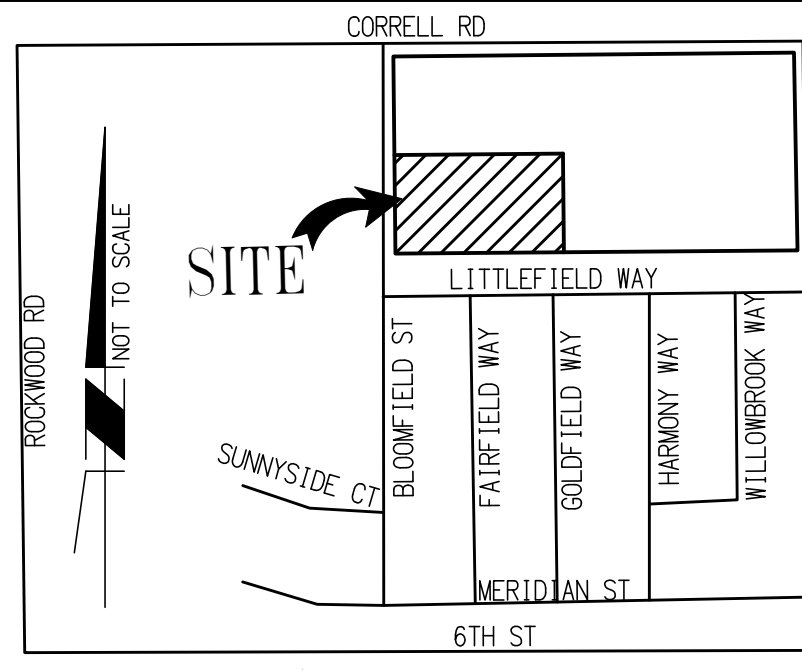
THE SUBJECT PROPERTY GROSS LAND AREA IS 16.22 ACRES, (706,702 SQ. FT.) MORE OR LESS.

TABULATION OF PARCEL AREA'S

IDENTITY	AREA (ACRES)
PARCEL 1	2.95±
PARCEL 2	2.90±
PARCEL 3	2.93±
PARCEL 4	3.36±
PARCEL 5	3.48±
LOT "A"	0.60±
TOTAL	16.22±

SITE & GRADING PLAN - MIRALUZ -

LOT 1 OF TENTATIVE TRACT MAP 00922, BEING A PORTION OF LOT D OF HEBER MEADOWS TRACT 956 UNIT 1, AS SHOWN BY MAP FILED IN BOOK 23 OF MAPS, PAGE 39-43, RECORDS OF THE COUNTY OF IMPERIAL, STATE OF CALIFORNIA, SAID LANDS BEING LOCATED IN A PORTION OF SECTION 27, TOWNSHIP 16 SOUTH, RANGE 14 EAST, SAN BERNARDINO MERIDIAN.



VICINITY MAP

OWNERSHIP/APPLICANT:

HEBER MEADOWS LAND HOLDINGS LLC
CARE OF DAVE DAVIS
6339 PASEO DEL LAGO
CARLSBAD, CA 92011

PREPARED BY:

EGAN CIVIL, INC.
BENJAMIN DANIEL EGAN, PE, PLS
42945 MADJO STREET, SUITE A
INDIO CA 92201
(760) 404-7663
BEGAN@EGANCIVIL.COM

TOPOGRAPHIC DATA:

THE FIELD SURVEY WAS COMPLETED BY EGAN CIVIL, INC. ON SEPTEMBER 2, 2020 AND IS AUGMENTED WITH AERIAL PHOTOGRAMMETRY PROVIDED BY INLAND AERIAL SURVEYS UTILIZING CONTROL PROVIDED BY EGAN CIVIL, INC. THE DATE OF THE AERIAL FLIGHT IS 9/9/2020.

PROJECT DESCRIPTION:

DEVELOP FOUR 2-STORY APARTMENT BUILDINGS CONTAINING A TOTAL OF 64 AFFORDABLE HOUSING UNITS.

ZONING:

LOCATED IN IMPERIAL COUNTY ZONING MAP 12A - TOWNSITE OF HEBER
ZONING CLASSIFICATION:
R3 - MEDIUM-HIGH DENSITY RESIDENTIAL ZONE

GENERAL PLAN DESIGNATION:

LAND USE: URBAN AREA
DESIGNATED WITHIN HEBER URBAN AREA SPECIFIC PLAN

SPECIFIC PLAN:

LOCATED IN HEBER TOWNSITE
HEBER URBAN AREA PLAN
DESIGNATED AS HIGH DENSITY RESIDENTIAL DEVELOPMENT AREA

TITLE REPORT SCHEDULE B EXCEPTIONS:

AN EASEMENT SHOWN OR DEDICATED ON THE MAP AS REFERRED TO IN THE LEGAL DESCRIPTION FOR: DRAINAGE, PUBLIC UTILITY AND POWER LINE AND INCIDENTAL PURPOSES. (PLOTTED HEREON)

PARKING COUNT PER AB2345:

(16) ONE BEDROOM UNITS X 1	PARKING SPACES PER UNIT	= 16 PARKING SPACES
(32) TWO BEDROOM UNITS X 1.5	PARKING SPACES PER UNIT	= 48 PARKING SPACES
(16) THREE BEDROOM UNITS X 1.5	PARKING SPACES PER UNIT	= 24 PARKING SPACES
(PER AB 2345 NO ADDITIONAL PARKING FOR GUESTS IS REQUIRED)		= 0 ADDITIONAL GUEST SPACES
TOTAL PARKING REQUIRED		= 88 PARKING SPACES
TOTAL PARKING PROVIDED		= 108 PARKING SPACES

BUILDING DATA:

(16) 1 BR/1 BA	583 SF
(32) 2 BR/1 BA	742 SF
(16) 3 BR/2 BA	938 SF
(64 TOTAL UNITS)	
COMMUNITY BUILDING W/ LAUNDRY ROOM	2,313 SF

EARTHWORK QUANTITIES:

RAW CUT:	1,000 YARDS
RAW FILL:	1,000 YARDS
IMPORT:	0 YARDS
THE ABOVE QUANTITIES ARE AN ENGINEER'S ESTIMATE ONLY AND ARE PROVIDED FOR GRADING PERMIT PURPOSES. CONTRACTOR SHALL VERIFY ALL QUANTITIES FOR THIS BID PURPOSES.	

SHEET INDEX:

1	COVER SHEET
2	DETAILS
3	GRADING PLAN

SOILS ENGINEER'S CERTIFICATION

I, _____, AS A REGISTERED CIVIL ENGINEER, PRINCIPALLY DOING BUSINESS IN GEOTECHNICAL ENGINEERING AND/OR APPLIED SOIL MECHANICS, HEREBY CERTIFY THAT A STUDY OF THE SOIL CONDITIONS PREVALENT WITHIN THIS SITE WAS MADE BY ME AND UNDER MY DIRECTION AND THE PROPOSED BUILDING STRUCTURE(S) WILL NOT BE ADVERSELY IMPACTED BY LIQUEFACTION (SEISMIC SETTLEMENTS & LATERAL SPREADING).

THESE GRADING PLANS HAVE BEEN REVIEWED BY ME OR UNDER MY DIRECTION AND CONFORM TO OUR RECOMMENDATIONS RELATIVE TO THE PROPOSED GRADING OF THE SITE. IT IS THE PROFESSIONAL OPINION OF LANDMARK GEOTECHNICAL ENGINEERS AND GEOLOGISTS THAT THE CONCLUSIONS AND RECOMMENDATIONS RENDERED IN THE GRADING PLAN ARE APPROPRIATE AND APPLICABLE TO THIS PROJECT AND THEY ARE IN SUBSTANTIAL CONFORMANCE WITH ALL APPLICABLE CODE, ORDINANCE, AND STANDARDS OF PRACTICE FOR THE PROJECT PROPOSED.

SEAL

SIGNED: _____ DATE: _____

RCE NO.: _____ EXPIRATION DATE: _____

NAME
ADDRESS 1
ADDRESS 2
PHONE
EMAIL

SYMBOL LEGEND:		PAVEMENT MARKINGS AND SIGNAGE		RAILROAD AND TRANSIT		UTILITY (WET)		UTILITY (DRY)		LANDSCAPING AND TERRAIN	
CONTROL	HV-1 1350.00 V-1 1350.00	EDGE OF DIRT	---	RAIL SIGNAL	☒	CATCH BASIN	☐	POWER POLE	☐	TREES	☁
AWNING	▭	EDGE OF CONC.	---	RAIL SIGNAL	☒	PIPE LINE	---	GUY WIRE	---	SINGLE TREE	☁
BUILDING	▭	EDGE OF ASPH.	---	RAIL SIGNAL	☒	VALVE	☐	POWER POLE W/ STREET LIGHT	☐	PALM	☁
POOL	▭	COVERED PARKING	▭	RAIL SIGNAL	☒	FIRE HYDRANT	☐	STREET LIGHT	☐	INDEX CONTOUR	1350
		ROAD STRIPING	▭	RAIL SIGNAL	☒	MANHOLE	☐	TRAFFIC SIGNAL	☐	INTER CONTOUR	1340
		SIDEWALK	▭	RAIL SIGNAL	☒	STANDPIPE	☐	TANK	☐		
		CURB AND GUTTER	▭	RAIL SIGNAL	☒	TANK	☐	MISCELLANEOUS	☐		
		SIGN	▭	RAIL SIGNAL	☒	DROP INLET	☐	VAULT	☐		

DIGALERT

CALL BEFORE YOU DIG

TWO WORKING DAYS BEFORE YOU DIG

TOLL FREE 1-800-227-2600

A PUBLIC SERVICE BY UNDERGROUND SERVICE ALERT

MARK	DATE	REVISIONS	CITY	APPR.	DATE

BENCHMARK: NGS 080432 ELEVATION: 990.00 DATUM: NAVD83 + 5000 FEET
DESCRIPTION: GSS BRASS DISK STAMPED "1 1224 - 1971" - LOCATED 3.05 MILES EAST ALONG HOLTON INTER-URBAN RAILWAY FROM SOUTHERN PACIFIC STATION AT EL CENTRO, THENCE 4.25 MILES SOUTH ALONG STATE HIGHWAY 111. AT THE NORTHEAST CORNER OF JUNCTION OF ABATTI ROAD, 87.5 FEET EAST OF THE CENTERLINE OF THE EAST LANES OF THE HIGHWAY, 26.5 FEET EAST OF THE CENTERLINE OF THE EAST FRONTAGE ROAD, 62 FEET NORTH OF THE CENTERLINE OF ABATTI ROAD. IN THE TOP AND 0.5 FEET SOUTH OF NORTH END OF THE EAST CONCRETE HEADWAY OF THE ARCH OVERLET UNDER THE FRONTAGE ROAD, ABOUT LEVEL WITH THE FRONTAGE ROAD. (LOCATED IN SEC. 23, T. 16 S., R. 14 E., SAN BERNARDINO MERIDIAN.)
BASIS OF BEARINGS: THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM (CCS83), ZONE VI, AS DETERMINED LOCALLY BY THE LINE BETWEEN CONTIGUOUS OPERATING GPS BASE STATION STATIONS P496 AND P744, (EPOCH 2017.50) COORDINATES, AS COMPUTED AND PUBLISHED BY SCOPPS ORBIT AND PERMANENT ARRAY CENTER (SOPAC) AND THE CALIFORNIA SPATIAL REFERENCE CENTER (CSRC), BEING: NORTH 42°46'48.17" EAST.

ABBREVIATIONS:		IRON PIPE		STORM DRAIN MANHOLE	
C/L	CENTERLINE	IP	IRON PIPE	SDMH	STORM DRAIN MANHOLE
COR.	CORNER	MB	MAP BOOK	SSMH	SAN. SEWER MANHOLE
E	EAST	MON.	MONUMENT	TC	TOP OF CURB
EG	EXISTING GROUND	N	NORTH	TCOL	TOP OF COLUMN
FL	FLOW LINE	REF.	REFERENCE	TW	TOP OF WALL
FS	FINISH SURFACE	R/W	RIGHT-OF-WAY	VLV.	VALVE
GPS	GLOBAL POS. SYSTEM	RS	RECORD OF SURVEY	W	WEST
HYD.	FIRE HYDRANT	PMB	PARCEL MAP BOOK	WM	WATER METER
		S	SOUTH	(XX.XX)	EXISTING ELEVATION CALLOUT
		SEC.	SECTION		



EGAN CIVIL, INC.

PO BOX 5282, LA QUINTA, CA 92248-5282
(760) 404-7663 WWW.EGANCIVIL.COM

BENJAMIN DANIEL EGAN, R.C.E. 73070 DATE: 07/07/2022

HEBER MEADOWS LAND HOLDINGS LLC
6339 PASEO DEL LAGO
CARLSBAD, CA 92011
CARE OF: DAVE DAVIS
760-456-6000 EXT. 173

UNINCORPORATED TOWNSITE, COUNTY OF IMPERIAL, STATE OF CALIFORNIA

185 WILLOWBROOK WAY #1
HEBER, CA 92249

LOT 1 OF TENTATIVE TRACT MAP 00922

MIRALUZ
COVER SHEET

CHELSEA DEVELOPMENT

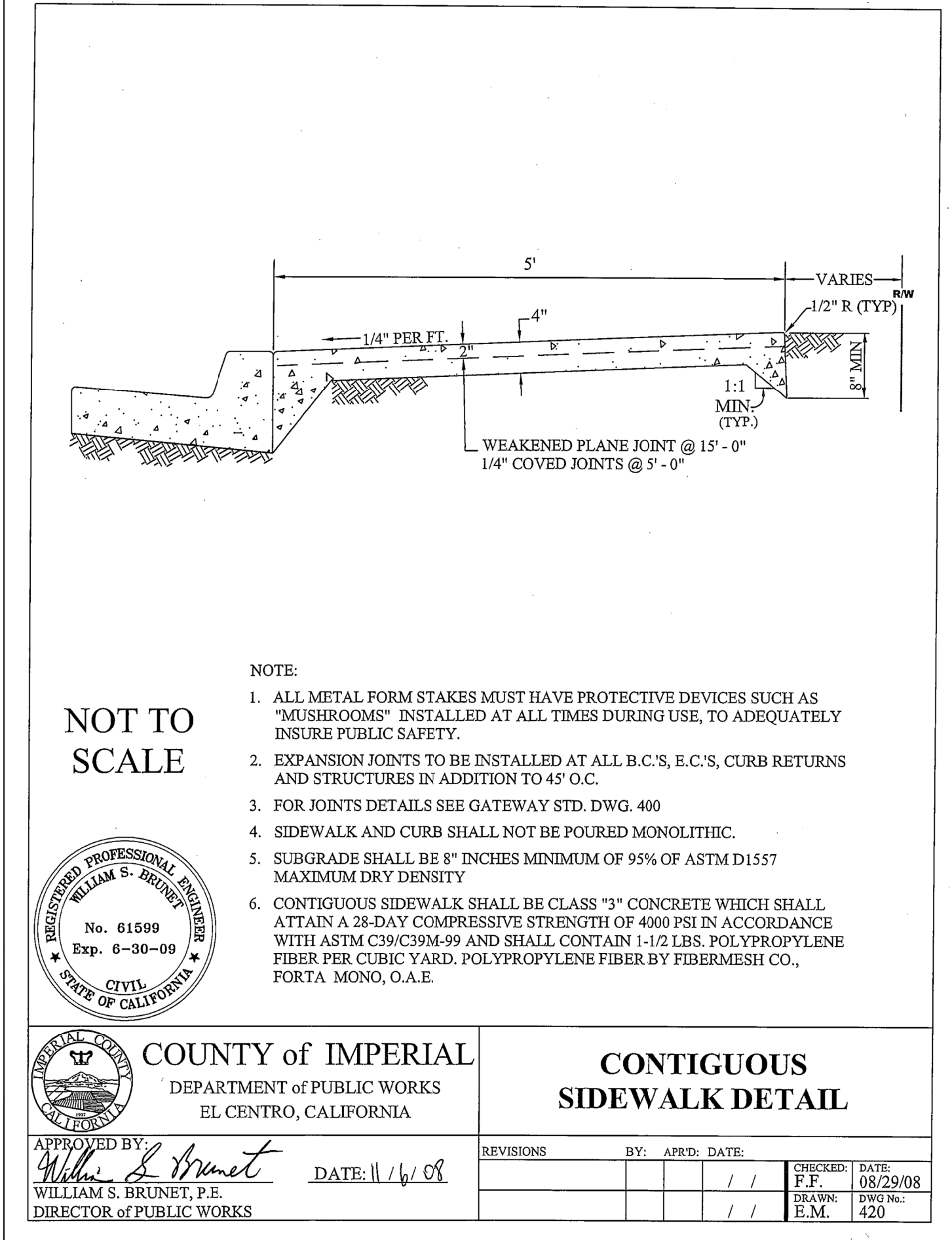
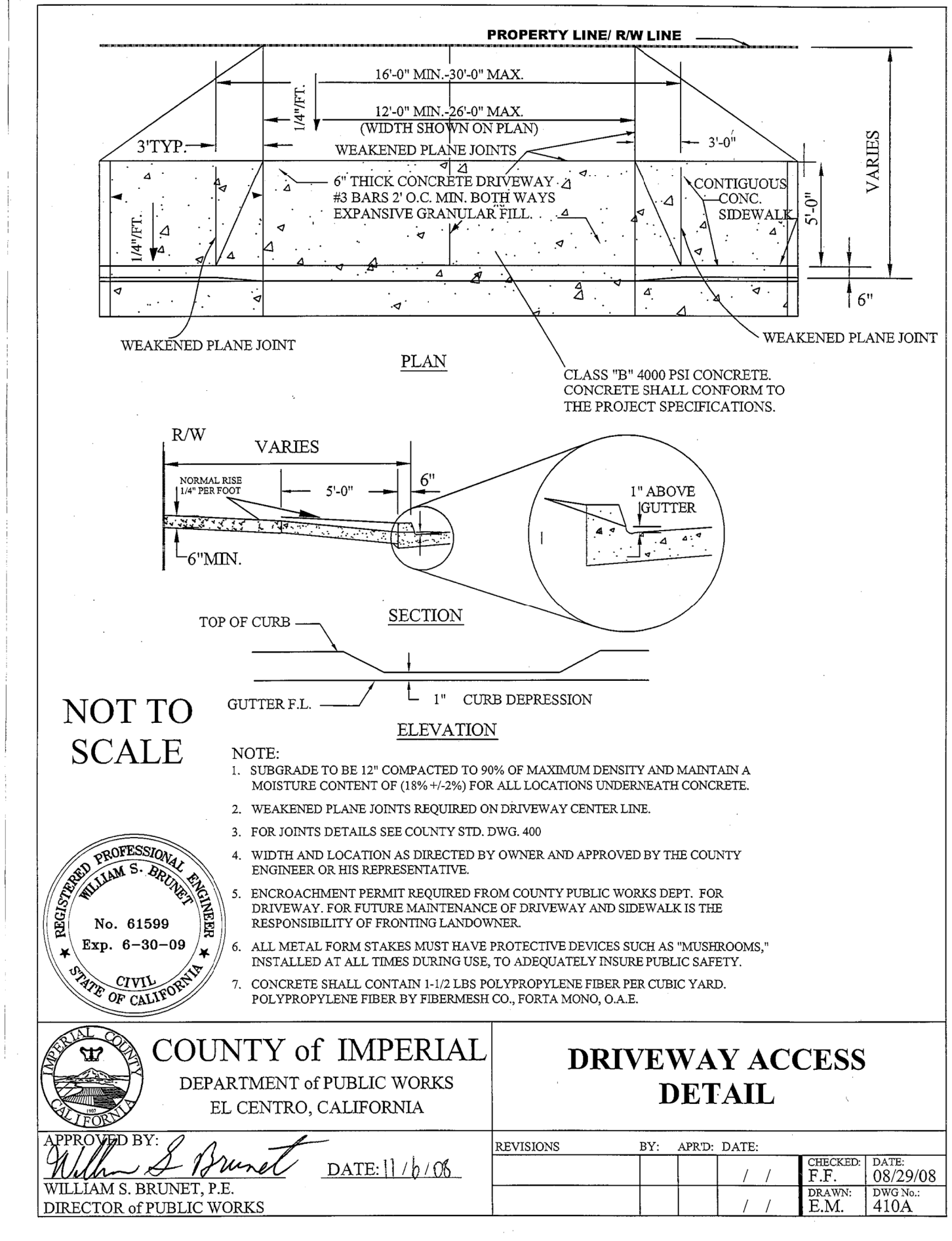
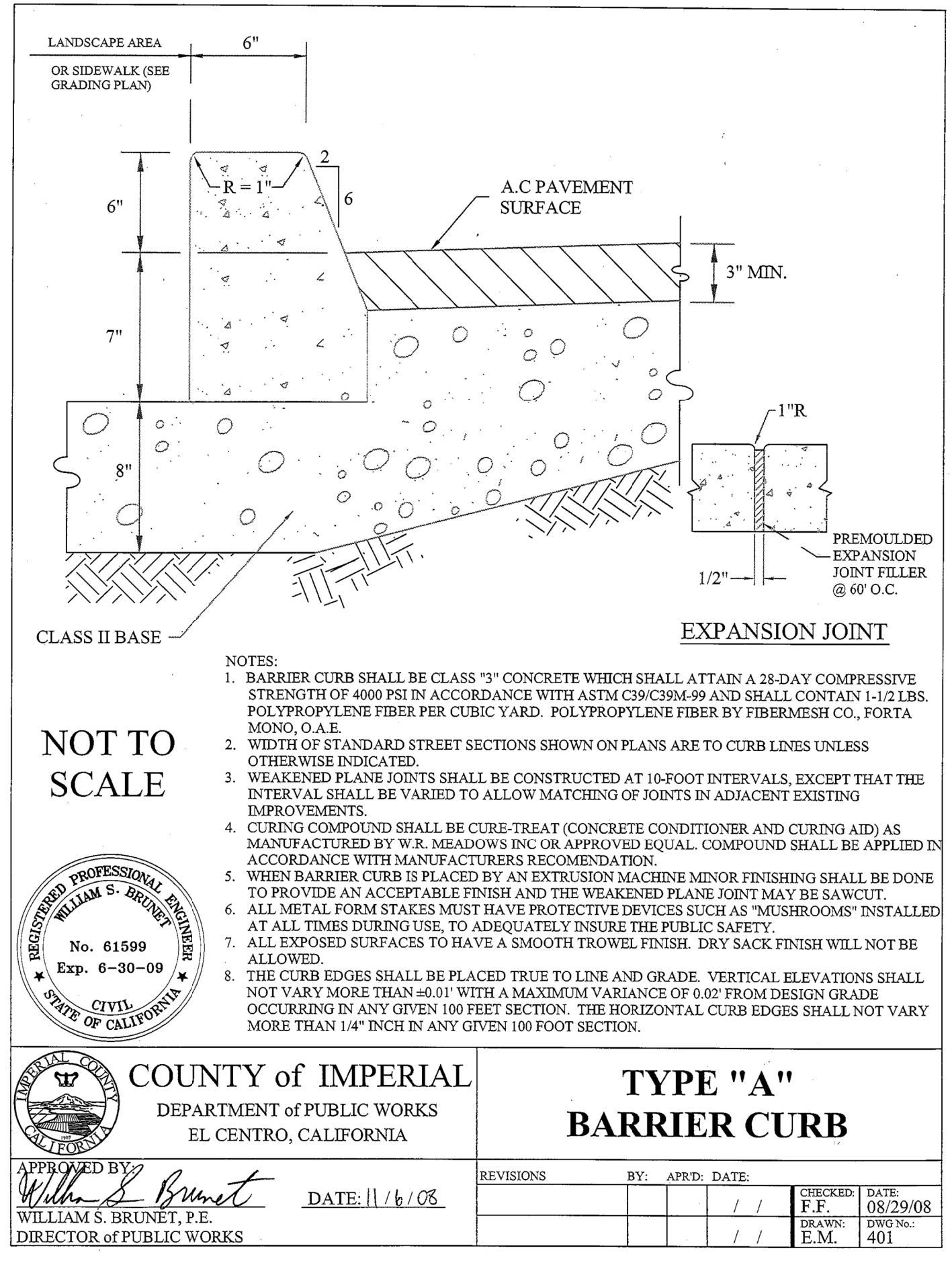
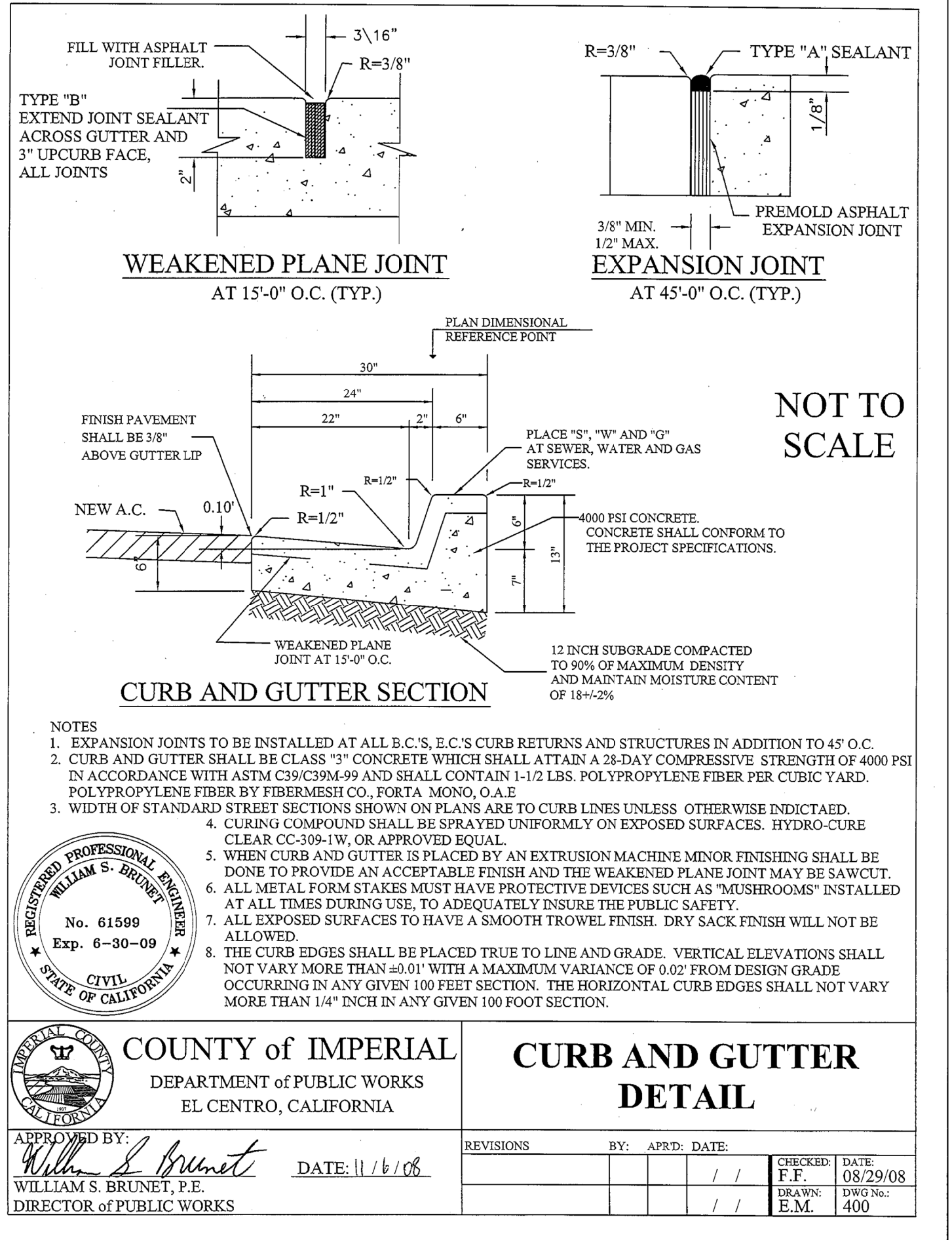
SHEET
1
OF 3 SHEETS
FILE NO. 20190367

PRINTED: 07/07/2022

GENERAL NOTES

- APPROVAL OF THIS GRADING PLAN DOES NOT CONSTITUTE APPROVAL OF VERTICAL OR HORIZONTAL ALIGNMENT OF ANY PRIVATE ROAD SHOWN HEREON FOR COUNTY ROAD PURPOSES.
- FINAL APPROVAL OF THESE GRADING PLANS SUBJECT TO FINAL APPROVAL OF THE ASSOCIATED IMPROVEMENT PLANS WHERE APPLICABLE. FINAL CURB GRADE ELEVATIONS MAY REQUIRE CHANGES IN THESE PLANS.
- IMPORT MATERIAL SHALL BE OBTAINED FROM A LEGAL SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO SECURE AN ENCROACHMENT PERMIT FROM THE COUNTY OF IMPERIAL DEPARTMENT OF PUBLIC WORKS FOR ANY EXCAVATION OR CONSTRUCTION WITHIN COUNTY ROAD RIGHT-OF-WAY. FOR INSPECTIONS, 48 HOUR MINIMUM NOTICE IS REQUIRED. (760) 482-4462. ADDITIONALLY, UNDERGROUND SERVICE ALERT (USA) MUST BE CALLED TWO WORKING DAYS BEFORE THE CONTRACTOR MAY EXCAVATE. THEIR CONTACT NUMBER (800) 227-2600. ALL WORK AND MATERIALS ARE SUBJECT TO THE INSPECTION AND APPROVAL OF THE COUNTY DEPARTMENT OF PUBLIC WORKS.
- THE CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK. NOTICE OF PROPOSED WORK SHALL BE GIVEN TO THE FOLLOWING AGENCIES:

SEMIRA ENERGY (GAS)	TELEPHONE NO. (800) 422-4133
HEBER PUBLIC UTILITIES DISTRICT (WATER, SEWER)	TELEPHONE NO. (800) 422-4133
IMPERIAL IRRIGATION DISTRICT (WATER)	TELEPHONE NO. (760) 339-9263
IMPERIAL IRRIGATION DISTRICT (ELECTRIC)	TELEPHONE NO. (760) 339-9280
ADELPHIA COMMUNICATION (CABLE)	TELEPHONE NO. (760) 352-8835
SBC (TELEPHONE)	TELEPHONE NO. (760) 337-3358
- A SOILS REPORT MAY BE REQUIRED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
- APPROVAL OF THESE PLANS BY THE DIRECTOR OF PUBLIC WORKS DOES NOT AUTHORIZE ANY WORK OR GRADING TO BE PERFORMED UNTIL THE PROPERTY OWNER'S PERMISSION HAS BEEN OBTAINED AND VALID GRADING PERMIT HAS BEEN ISSUED BY THE COUNTY PLANNING DEPARTMENT.
- THE DIRECTOR OF PUBLIC WORKS' APPROVAL OF THESE PLANS DOES NOT CONSTITUTE COUNTY BUILDING OFFICIAL APPROVAL OF ANY FOUNDATION FOR STRUCTURES TO BE PLACED ON THE ITEMS COVERED BY THESE PLANS.
- ALL MAJOR SLOPES SHALL BE ROUNDED INTO EXISTING TERRAIN TO PRODUCE A CONTOURED TRANSITION FROM CUT OR FILL FACES TO NATURAL GROUND AND ABUTTING CUT OR FILL SURFACES.
- NOTWITHSTANDING THE MINIMUM STANDARDS SET FORTH IN THE GRADING ORDINANCE AND NOTWITHSTANDING THE APPROVAL OF THESE GRADING PLANS, THE PERMITTEE IS RESPONSIBLE FOR THE PREVENTION OF DAMAGE TO ADJACENT PROPERTY. NO PERSON SHALL EXCAVATE ON LAND SO CLOSE TO THE PROPERTY LINE AS TO ENDANGER ANY SUCH PROPERTY FROM SETTLING, CRACKING, EROSION SILTING, SCOUR OR OTHER DAMAGE, WHICH MIGHT RESULT FROM THE GRADING DESCRIBED ON THE PLAN. THE COUNTY WILL HOLD THE PERMITTEE RESPONSIBLE FOR CORRECTION OF NON-DEDICATED IMPROVEMENTS WHICH DAMAGE ADJACENT PROPERTY.
- SPECIAL CONDITION: IF ANY ARCHEOLOGICAL RESOURCES ARE DISCOVERED ON THE SITE OF THIS GRADING OPERATION, SUCH OPERATIONS WILL CEASE IMMEDIATELY AND THE PERMITTEE WILL NOTIFY THE DIRECTOR OF THE PLANNING DEPARTMENT OF THE DISCOVERY. GRADING OPERATIONS WILL NOT RECOMMENCE UNTIL THE PERMITTEE HAS RECEIVED WRITTEN AUTHORITY FROM THE DIRECTOR OF PLANNING TO DO SO.
- THE CONSTRUCTION OF ONE PCC STANDARD DRIVEWAY PER LOT, LOCATION TO BE DETERMINED IN THE FIELD BY ENGINEER OF WORK AND APPROVED BY COUNTY PUBLIC WORKS INSPECTOR. PCC SURFACING OF DRIVEWAY TO EXTEND FROM CURB TO PROPERTY LINE.



COUNTY of IMPERIAL
 DEPARTMENT OF PUBLIC WORKS
 EL CENTRO, CALIFORNIA

APPROVED BY: *William S. Brunet* DATE: 11/16/08
 WILLIAM S. BRUNET, P.E.
 DIRECTOR OF PUBLIC WORKS

COUNTY of IMPERIAL
 DEPARTMENT OF PUBLIC WORKS
 EL CENTRO, CALIFORNIA

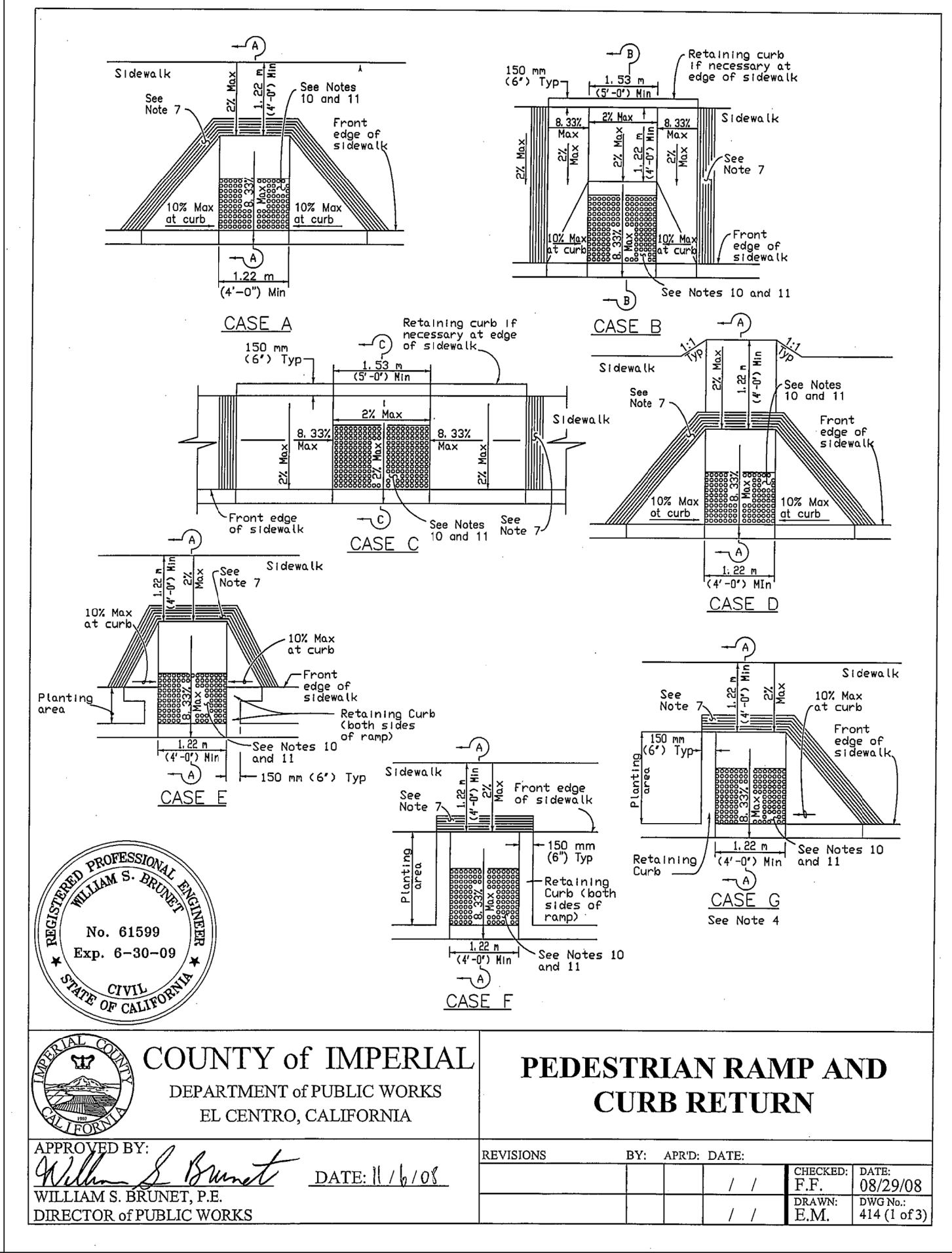
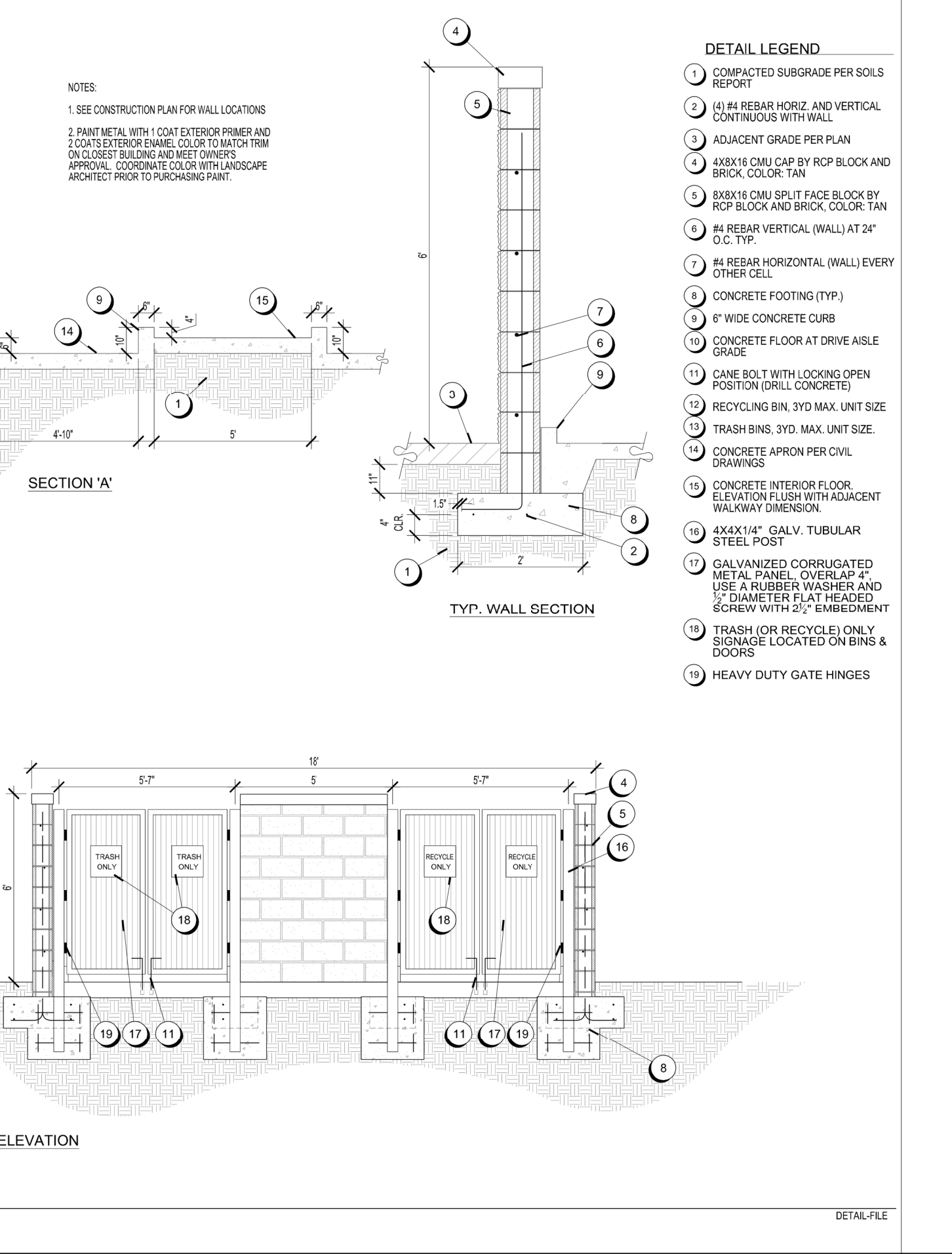
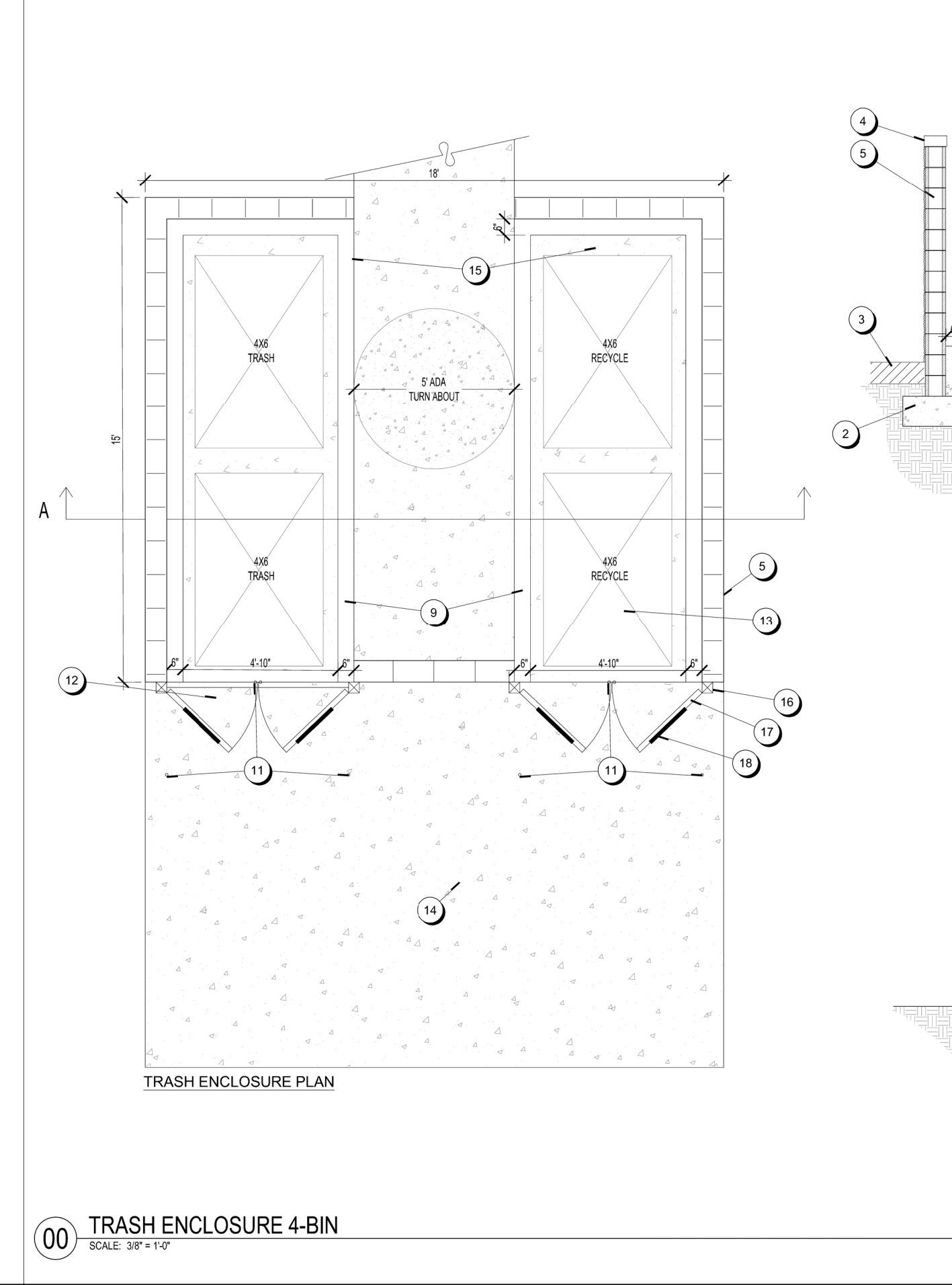
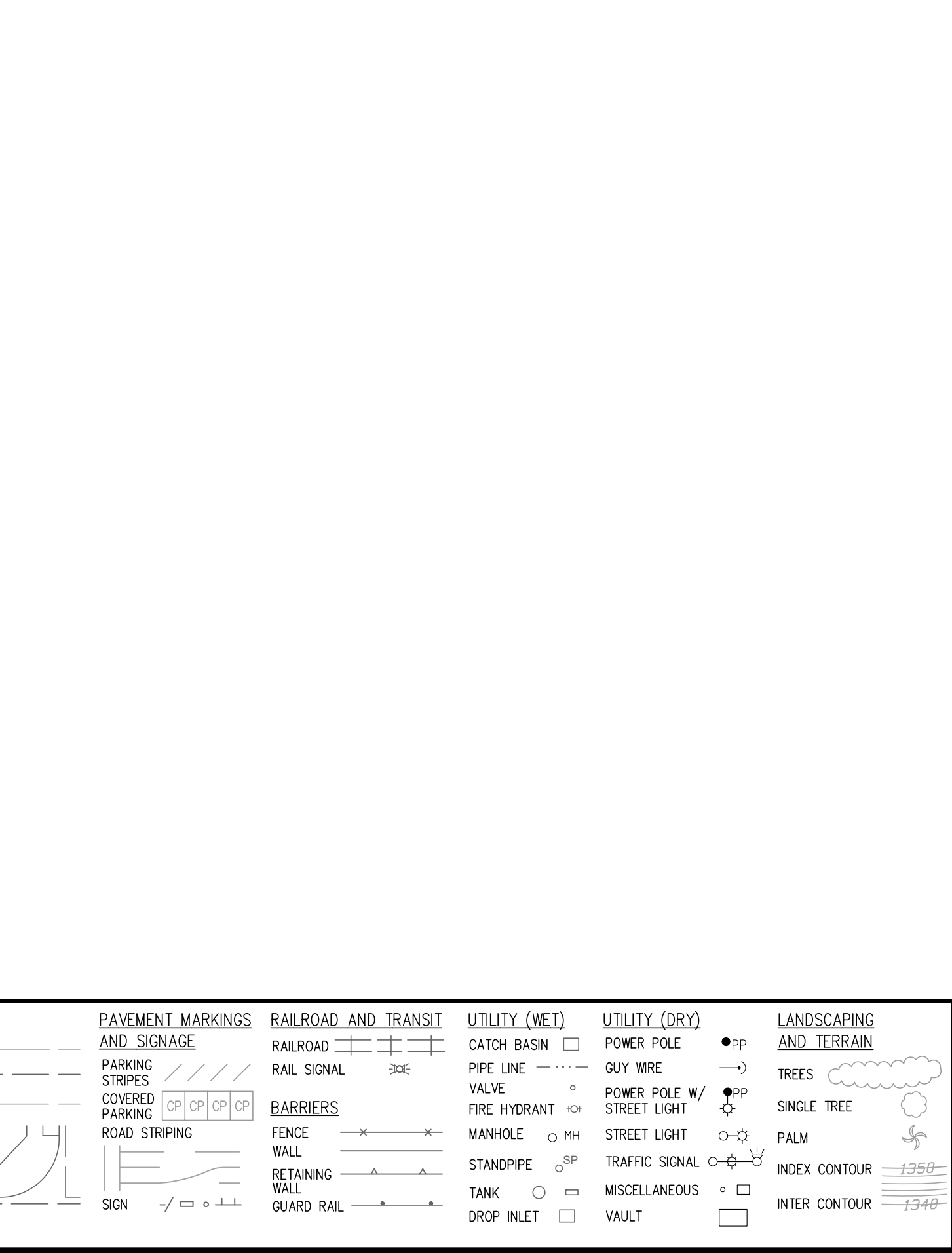
APPROVED BY: *William S. Brunet* DATE: 11/16/08
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COUNTY of IMPERIAL
 DEPARTMENT OF PUBLIC WORKS
 EL CENTRO, CALIFORNIA

APPROVED BY: *William S. Brunet* DATE: 11/16/08
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COUNTY of IMPERIAL
 DEPARTMENT OF PUBLIC WORKS
 EL CENTRO, CALIFORNIA

APPROVED BY: *William S. Brunet* DATE: 11/16/08
 WILLIAM S. BRUNET, P.E.
 DIRECTOR OF PUBLIC WORKS



DIGALERT

DIAL BEFORE YOU DIG

TOLL FREE 1-800-227-2600

A PUBLIC SERVICE BY UNDERGROUND SERVICE ALERT

MARK	DATE	REVISIONS	APPR.	DATE

ABBREVIATIONS:

C/L	CENTERLINE	IP	IRON PIPE	SDMH	STORM DRAIN MANHOLE
COR.	CORNER	MB	MAP BOOK	SSMH	SAN. SEWER MANHOLE
E	EAST	MON.	MONUMENT	TC	TOP OF CURB
EG	EXISTING GROUND	N	NORTH	TCOL	TOP OF COLUMN
FL	FLOW LINE	REF.	REFERENCE	TW	TOP OF WALL
FS	FINISH SURFACE	R/W	RIGHT-OF-WAY	VLV.	VALVE
GPS	GLOBAL POS. SYSTEM	RS	RECORD OF SURVEY	W	WEST
HYD.	FIRE HYDRANT	PMB	PARCEL MAP BOOK	WM	WATER METER
		S	SOUTH	(XX.XX)	EXISTING ELEVATION CALLOUT

EGAN CIVIL, INC.

PO BOX 5282, LA QUINTA, CA 92248-5282
 (760) 404-7663 WWW.EGANCIVIL.COM

PREPARED UNDER THE DIRECT SUPERVISION OF: BENJAMIN DANIEL EGAN, R.C.E. 73070 DATE: 07/07/2022

HEBER MEADOWS LAND HOLDINGS LLC
 6339 PASEO DEL LAGO
 CARLSBAD, CA 92011
 CARE OF: DAVE DAVIS
 760-456-6000 EXT. 173

UNINCORPORATED TOWNSHIP, COUNTY OF IMPERIAL, STATE OF CALIFORNIA

185 WILLOWBROOK WAY #1
 HEBER, CA 92249

LOT 1 OF TENTATIVE TRACT MAP 00922

MIRALUZ
 DETAILS

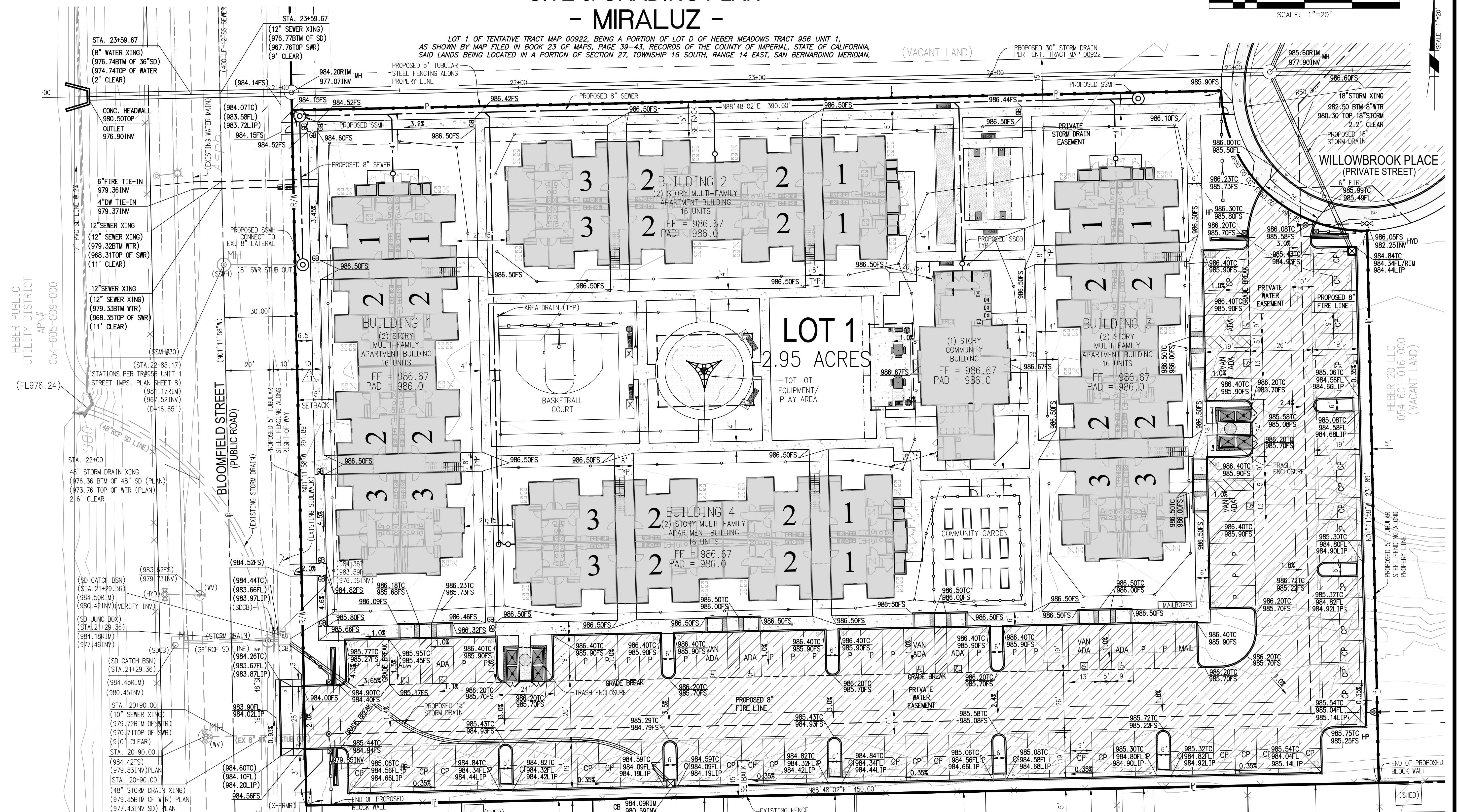
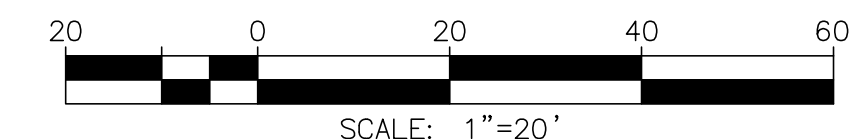
FOR: CHELSEA DEVELOPMENT

SHEET 2 OF 3 SHEETS
 FILE NO. 20190367

PRINTED: 07/07/2022

SITE & GRADING PLAN - MIRALUZ -

LOT 1 OF TENTATIVE TRACT MAP 00922, BEING A PORTION OF LOT D OF HEBER MEADOWS TRACT 956 UNIT 1, AS SHOWN BY MAP FILED IN BOOK 23 OF MAPS, PAGE 39-43, RECORDS OF THE COUNTY OF IMPERIAL, STATE OF CALIFORNIA, SAID LANDS BEING LOCATED IN A PORTION OF SECTION 27, TOWNSHIP 16 SOUTH, RANGE 14 EAST, SAN BERNARDINO MERIDIAN,



SYMBOL LEGEND:

ROADWAYS	PAVEMENT MARKINGS AND SIGNAGE	RAILROAD AND TRANSIT	UTILITY (WET)	UTILITY (DRY)	LANDSCAPING AND TERRAIN
EDGE OF DIRT	RAIL SIGNAL	CATCH BASIN	PIPE LINE	POWER POLE	TREES
EDGE OF CONC.	FIRE HYDRANT	VALVE	MANHOLE	GUY WIRE	SINGLE TREE
EDGE OF ASPH.	FENCE WALL	RETAINING WALL	STREET LIGHT	POWER POLE W/ STREET LIGHT	PALM
AWNING	RAILROAD	TRAFFIC SIGNAL	TANK	MISCELLANEOUS	INDEX CONTOUR
BUILDING	BARRIERS	VAULT	DROP INLET		INTER CONTOUR
CURB AND GUTTER	ROAD STRIPING				
POOL	SIGN				

HEBER PUBLIC UTILITY DISTRICT
APN# 054-601-001-000

STATIONING: STA. 23+59.67, STA. 22+00, STA. 20+90.00, STA. 20+90.00, STA. 20+90.00

UTILITY LINE: 12" PVC SD LINE, 12" SEWER XING, 48" STORM DRAIN XING, 36" RCP SD LINE, 10" SEWER XING, 48" STORM DRAIN XING

ABBREVIATIONS:

C/L	CENTERLINE	IP	IRON PIPE
COR.	CORNER	MB	MAP BOOK
E	EAST	MON.	MONUMENT
EG	EXISTING GROUND	N	NORTH
FL	FLOW LINE	REF.	REFERENCE
FS	FINISH SURFACE	R/W	RIGHT-OF-WAY
GPS	GLOBAL POS. SYSTEM	RS	RECORD OF SURVEY
HYD.	FIRE HYDRANT	PMB	PARCEL MAP BOOK
		S	SOUTH
		SEC.	SECTION

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DIGALERT

CALL BEFORE YOU DIG

1-800-227-2600

A PUBLIC SERVICE BY UNDERGROUND SERVICE ALERT

REVISIONS:

NO.	DATE	DESCRIPTION

BENCHMARK: NGS 090432 ELEVATION: 990.00 DATUM: NAVD83 + 1000 FEET

DESCRIPTION: GSS BRASS DISK STAMPED "1 1224 - 1917" - LOCATED 3.05 MILES EAST ALONG HOLTON INTER-URBAN RAILWAY FROM SOUTHERN PACIFIC STATION AT EL CENTRO, THENCE 4.25 MILES SOUTH ALONG STATE HIGHWAY 111, AT THE NORTHEAST CORNER OF JUNCTION OF ABATTI ROAD, 87.5 FEET EAST OF THE CENTERLINE OF THE EAST LANES OF THE HIGHWAY, 26.5 FEET EAST OF THE CENTERLINE OF THE EAST FRONTAGE ROAD, 62 FEET NORTH OF THE CENTERLINE OF ABATTI ROAD, IN THE TOP AND 0.5 FEET SOUTH OF NORTH END OF THE EAST CONCRETE HEADWAY OF THE ARCH OVERLIES UNDER THE FRONTAGE ROAD, ABOUT 1.5 FEET WITH THE FRONTAGE ROAD, (LOCATED IN SD 22, T 16 S, R 14 E, SAN BERNARDINO MERIDIAN.)

BASIS OF BEARINGS: THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM (CCS), ZONE 14, AS DETERMINED LOCALLY BY THE LINE BETWEEN CONTIGUOUS OPERATING GPS BASE STATION STATIONS P496 AND P744, (EPOCH 2017.50) COORDINATES, AS COMPUTED AND PUBLISHED BY SCORPUS ORBIT AND PERMANENT ARRAY CENTER (SOPAC) AND THE CALIFORNIA SPATIAL REFERENCE CENTER (CSRC), BEING: NORTH 42°49'48.17" EAST.

PROFESSIONAL ENGINEER

NO. 73070

STATE OF CALIFORNIA

EGAN CIVIL, INC.

PO BOX 5282, LA QUINTA, CA 92248-5282
(760) 404-7663 WWW.EGANCIVIL.COM

PREPARED UNDER THE DIRECT SUPERVISION OF:

BENJAMIN DANIEL EGAN, R.C.E. 73070 DATE: 07/07/2022

HEBER MEADOWS LAND HOLDINGS LLC
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UNINCORPORATED TOWNSITE, COUNTY OF IMPERIAL, STATE OF CALIFORNIA

185 WILLOWBROOK WAY #1
HEBER, CA 92249

LOT 1 OF TENTATIVE TRACT MAP 00922

MIRALUZ

SITE & GRADING PLAN

FOR: CHELSEA DEVELOPMENT

SHEET 3

OF 3 SHEETS

FILE NO. 20190367

PRINTED: 07/07/2022

STREET IMPROVEMENT GENERAL NOTES

- COUNTY ENCROACHMENT PERMIT CONDITIONS AND PROVISIONS SHALL TAKE PRECEDENCE OVER THE APPROVED PLANS AND SPECIFICATIONS FOR ANY CONFLICTS.
- THE STRUCTURAL SECTION SHALL BE IN ACCORDANCE WITH IMPERIAL COUNTY STANDARDS (OR CALTRANS IF IN STATE ROW) AND AS APPROVED BY THE PUBLIC WORKS DIRECTOR (OR CALTRANS).
- APPROVAL OF THESE IMPROVEMENT PLANS AS SHOWN DOES NOT CONSTITUTE APPROVAL OF ANY CONSTRUCTION OUTSIDE THE PROJECT BOUNDARY.
- ALL UNDERGROUND UTILITIES WITHIN THE STREET RIGHT-OF-WAY SHALL BE CONSTRUCTED, CONNECTED AND TESTED PRIOR TO CONSTRUCTION OF CURB, CURB, CROSS GUTTER AND PAVING.
- THE EXISTENCE AND LOCATION OF EXISTING UNDERGROUND FACILITIES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO OTHER EXISTING FACILITIES EXCEPT AS SHOWN ON THESE PLANS. HOWEVER, THE CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT ANY EXISTING FACILITY SHOWN HEREON AND ANY OTHER THAT IS NOT OF RECORD OR NOT SHOWN ON THESE PLANS.
- LOCATION AND ELEVATION OF IMPROVEMENTS TO BE MET BY WORK TO BE DONE SHALL BE CONFIRMED BY FIELD MEASUREMENTS PRIOR TO CONSTRUCTION OF NEW WORK. CONTRACTOR WILL MAKE EXPLORATORY EXCAVATIONS AND LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF REVISIONS ARE NECESSARY BECAUSE OF ACTUAL LOCATION OF EXISTING FACILITIES.
- UTILITIES COORDINATION

- NO LESS THAN 3 WORKING DAYS PRIOR TO ANY EXCAVATION OR TRENCHING, EACH CONTRACTOR DOING SUCH WORK SHALL CONTACT THE FOLLOWING AGENCIES SO THAT EXISTING UNDERGROUND UTILITIES MAY BE LOCATED. THE AGENCY MAY REQUIRE AN INSPECTOR TO BE PRESENT.
- APPROPRIATE WATER/SEWER UTILITY TO BE DETERMINED
 - IMPERIAL IRRIGATION DISTRICT (POWER) (760) 339-9280
 - IMPERIAL IRRIGATION DISTRICT (WATER) (760) 339-9263
 - PACIFIC BELL (800) 422-4133
 - THE GAS CO. (800) 422-4133/(800) 227-2600
 - CABLE COMPANY TO BE DETERMINED

EXISTING UNDERGROUND UTILITIES
BEFORE EXCAVATING FOR THIS CONTRACT, VERIFY LOCATION OF UNDERGROUND UTILITIES. THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE PLANS HAS BEEN OBTAINED FROM AVAILABLE RECORDS ONLY AND MAY NOT REFLECT ALL EXISTING UTILITIES. LOCATION OF ALL EXISTING UTILITIES SHALL BE CONFIRMED BY FIELD MEASUREMENTS BY CONTRACTOR PRIOR TO CONSTRUCTION OF WORK.

CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN HEREON AND ANY OTHER EXISTING LINES NOT OF RECORD OR NOT SHOWN ON THESE PLANS.

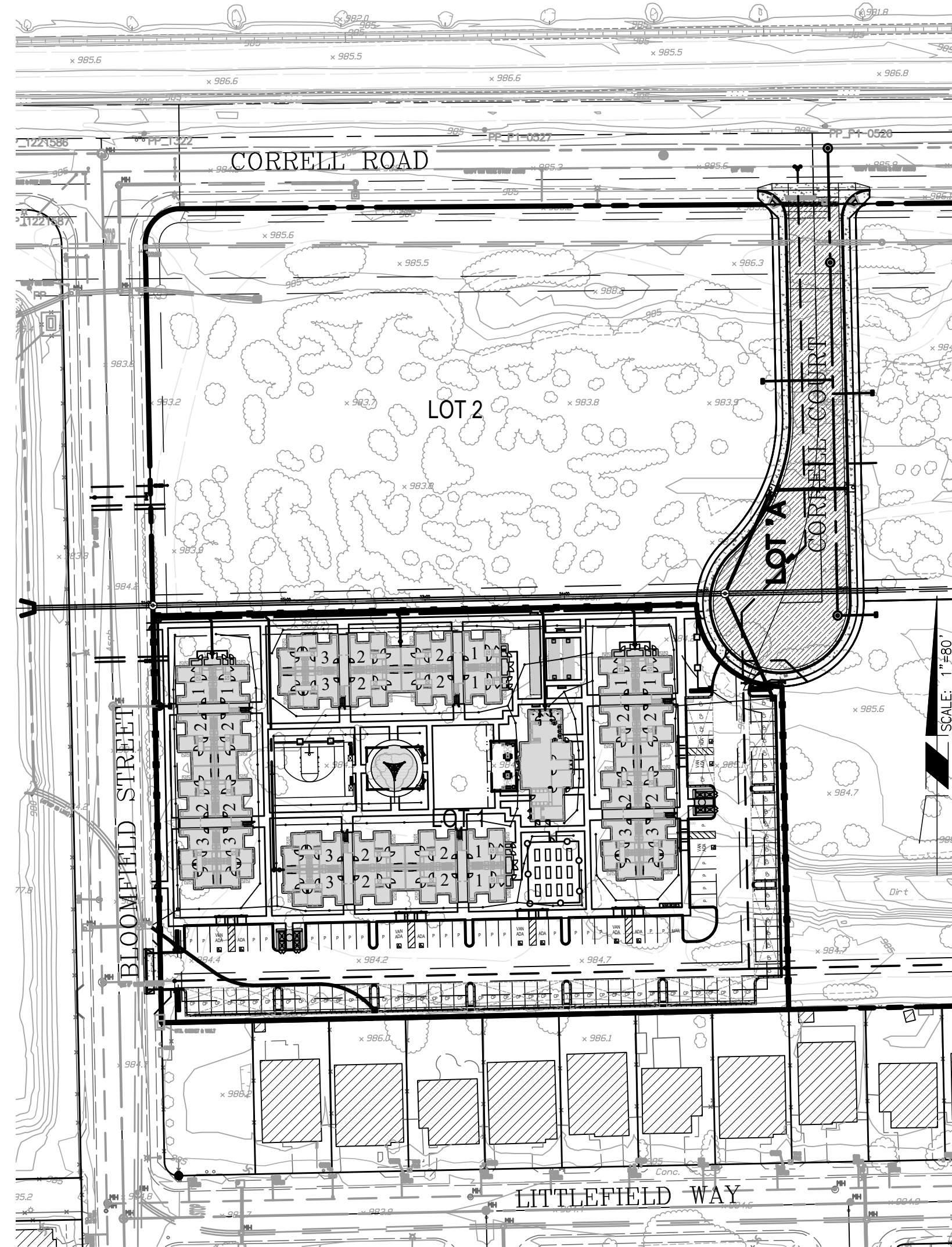
ACCURATE VERIFICATION AS TO SIZE, LOCATION AND DEPTH OF EXISTING UNDERGROUND SERVICES SHALL BE THE CONTRACTORS RESPONSIBILITY. THE CONTRACTOR SHALL NOTIFY THE SOUTHERN CALIFORNIA GAS COMPANY, PACIFIC BELL, TELEPHONE COMPANY, IMPERIAL IRRIGATION DISTRICT AND ANY OTHER AFFECTED UTILITY AGENCIES PRIOR TO STARTING HIS WORK NEAR SUCH UTILITY FACILITIES AND SHALL COORDINATE HIS WORK WITH UTILITY REPRESENTATIVES. FOR LOCATION OF UNDERGROUND UTILITIES AND APPURTENANCES, CONTACT "UNDERGROUND SERVICE ALERT" AT 811 (formerly 1-800-422-4133).

- IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO CONTACT THE UTILITY AGENCIES, ADVISE THEM OF THE PROPOSED IMPROVEMENTS AND BEAR THE COST OF RELOCATIONS, IF NEEDED.
- CONSTRUCT A PUBLIC STREET LIGHT SYSTEM CONFORMING TO APPROPRIATE STANDARDS AND STREET LIGHT SPECIFICATIONS. POWER SOURCES AND RUNS SHALL BE SHOWN ON THE "AS-BUILT" IMPROVEMENT DRAWINGS. ALL POWER SOURCES SHALL BE LOCATED WITHIN THE DEDICATED RIGHT-OF-WAY OR EASEMENT.
- NO PAVING SHALL BE DONE UNTIL EXISTING POWER POLES ARE RELOCATED OUTSIDE THE AREAS TO BE PAVED.
- PRIVATE ROAD IMPROVEMENTS SHOWN HEREON ARE FOR INFORMATION ONLY. COUNTY OFFICIALS SIGNATURE HEREON DOES NOT CONSTITUTE APPROVAL OR RESPONSIBILITY OF ANY KIND FOR THE DESIGN OR CONSTRUCTION OF THESE PRIVATE IMPROVEMENTS.
- ALL SIGNS TO BE ALUMINUM WITH 3M HIGH INTENSITY TYPE REFLECTIVE FACE OR EQUIVALENT.
- CONTRACTOR WILL BE RESPONSIBLE FOR THE REPLACEMENT OF ANY STRIPING, PAVEMENT MARKERS, OR LEGENDS OBLITERATED BY THE CONSTRUCTION OF THIS PROJECT.
- THE CONTRACTOR SHALL DO ALL NEW STRIPING AND SANDBLASTING OF REDUNDANT STRIPING.
- THE CONSTRUCTION OF ONE POC STANDARD DRIVEWAY PER LOT, LOCATION TO BE DETERMINED IN THE FIELD BY THE ENGINEER OF WORK. POC SURFACING OF DRIVEWAY TO EXTEND FROM CURB TO PROPERTY LINE UNLESS OTHERWISE SHOWN.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO SECURE AN ENCROACHMENT PERMIT FROM THE COUNTY OF IMPERIAL DEPARTMENT OF PUBLIC WORKS FOR ANY EXCAVATION OR CONSTRUCTION WITHIN COUNTY ROAD RIGHT-OF-WAY. FOR INSPECTIONS, 48 HOUR MINIMUM NOTICE IS REQUIRED, (760) 482-4462. ADDITIONALLY, UNDERGROUND SERVICE ALERT (USA) MUST BE CALLED TWO WORKING DAYS BEFORE THE CONTRACTOR MAY EXCAVATE. THEIR CONTACT NUMBER 811 (formerly (800) 422-4133). ALL WORK AND MATERIALS ARE SUBJECT TO THE INSPECTION AND APPROVAL FROM THE COUNTY DEPARTMENT OF PUBLIC WORKS OR THEIR REPRESENTATIVE.
- NO REVISIONS OF ANY KIND SHALL BE MADE TO THESE PLANS WITHOUT THE PRIOR WRITTEN APPROVAL OF BOTH THE COUNTY ENGINEER (OR HIS REPRESENTATIVE) AND THE ENGINEER OF RECORD. A REPRODUCIBLE ASBUILT PLAN SET WILL BE PROVIDED TO THE PUBLIC WORKS DEPARTMENT AS A CONDITION OF SUBSTANTIAL CONSTRUCTION COMPLETION AND PRIOR TO ACCEPTANCE.
- ALL WORK AND MATERIALS SHALL CONFORM TO THESE PLANS AND SPECIFICATIONS, THE IMPERIAL COUNTY DEPARTMENT OF PUBLIC WORKS STANDARDS AND ENCROACHMENT PERMIT CONDITIONS, ANY REFERENCED STANDARDS AND SPECIFICATIONS AND THE SPECIFICATIONS & THE REQUIREMENTS OF THE AGENCIES REFERRED TO HEREIN. ALL WORK SHOWN OR INDICATED BY THESE PLANS SHALL BE COMPLETED IN ACCORDANCE WITH THE STANDARDS, POLICIES AND REGULATIONS OF IMPERIAL COUNTY; WHERE, OR IF, CONFLICTS OCCUR, THEN THE IMPERIAL COUNTY REQUIREMENTS SHALL GOVERN.
- UNLESS SPECIFICALLY INDICATED OTHERWISE METHODS EMPLOYED AND MATERIAL USED IN THE CONSTRUCTION OF ALL OFFSITE IMPROVEMENTS SHALL CONFORM TO THE APPLICABLE PROVISIONS OF THE "STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS DATED May 2008". ALL WORK IS SUBJECT TO INSPECTION AND APPROVAL AS REQUIRED.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN AN EXCAVATION PERMIT FROM THE STATE OF CALIFORNIA DIVISION OF SAFETY AND TO ADHERE TO ALL PROVISIONS OF THE STATE CONSTRUCTION SAFETY ORDERS AND STANDARDS.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A GENERAL CONSTRUCTION ACTIVITY STORM WATER PERMIT FROM THE STATE WATER RESOURCES CONTROL BOARD DIVISION OF WATER QUALITY, CONTACT "STATE WATER RESOURCES CONTROL BOARD, DIVISION OF WATER QUALITY, ATTENTION: STORM WATER PERMIT UNIT, P.O. BOX 1977, SACRAMENTO, CALIFORNIA, 95812.
- CONSTRUCTION PROJECTS DISTURBING MORE THAN ONE ACRE MUST OBTAIN A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT. OWNER/DEVELOPERS ARE REQUIRED TO FILE A NOTICE OF INTENT (NOI) WITH THE STATE WATER RESOURCES CONTROL BOARD, PREPARE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND MONITORING PLAN FOR THE SITE.
- AS DETERMINED BY THE COUNTY PUBLIC WORKS DIRECTOR/ROAD COMMISSIONER, THE DEVELOPER IS RESPONSIBLE, AS A MINIMUM, FOR ROAD IMPROVEMENTS TO CENTERLINE, AND MAY BE REQUIRED TO RECONSTRUCT EXISTING PAVEMENT, INCLUDING BASE, AND MATCHING OVERLAY REQUIRED TO MEET THE STRUCTURAL STANDARDS FOR THE CURRENT ASSIGNED TRAFFIC INDEX.
- EXISTING STORM DRAIN PIPES/CULVERTS WHETHER TO BE CONNECTED TO, EXTENDED, ADJUSTED, DRAINED TO, OR JUST IN PROJECT VICINITY SHALL BE REPAIRED AND/OR CLEANED TO MAKE THEM FUNCTIONAL AND ACCEPTABLE AS DIRECTED BY THE PUBLIC WORKS DIRECTOR.
- TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE CURRENT WORK AREA TRAFFIC CONTROL HANDBOOK OR AS DIRECTED BY THE IMPERIAL COUNTY TRAFFIC ENGINEER.
- ANY EXISTING SURVEY MONUMENTS OR COUNTY RECOGNIZED BENCHMARKS SHALL BE PROTECTED BY THE CONTRACTOR. SHOULD ANY SUCH MONUMENTS OR BENCHMARKS BE REMOVED, DAMAGED, OBLITERATED OR ALTERED BY THE CONTRACTORS OPERATIONS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER RESETTLEMENT OF THE SAME AS PER THE SUBDIVISION MAP ACT, THE PROFESSIONAL LAND SURVEYORS ACT AND TO THE SATISFACTION OF THE COUNTY SURVEYOR/ DIRECTOR OF PUBLIC WORKS. SUCH POINTS SHALL BE REFERENCED AND REPLACED WITH APPROPRIATE MONUMENTATION BY A LICENSED LAND SURVEYOR OR A REGISTERED CIVIL ENGINEER AUTHORIZED TO PRACTICE LAND SURVEYING. A CORNER RECORD OR RECORD OF SURVEY, AS APPROPRIATE SHALL BE FILED BY THE LICENSED LAND SURVEYOR OR REGISTERED CIVIL ENGINEER.
- THE NOTES LISTED ABOVE ARE A MINIMUM LIST. THIS DOES NOT RELIEVE THE ENGINEER FROM COMPILING ADDITIONAL NOTES THAT MAY BE REQUIRED FOR THE PROJECT.

IN THE UNINCORPORATED TOWNSITE OF HEBER, COUNTY OF IMPERIAL, STATE OF CALIFORNIA

IMPROVEMENT PLANS - MIRALUZ -

TENTATIVE TRACT MAP 00922, BEING A PORTION OF LOT D OF HEBER MEADOWS TRACT 956 UNIT 1, AS SHOWN BY MAP FILED IN BOOK 23 OF MAPS, PAGE 39-43, RECORDS OF THE COUNTY OF IMPERIAL, STATE OF CALIFORNIA, SAID LANDS BEING LOCATED IN A PORTION OF SECTION 27, TOWNSHIP 16 SOUTH, RANGE 14 EAST, SAN BERNARDINO MERIDIAN,



KEY MAP
SCALE 1"=80'
SCALE: 1"=80'

OWNERSHIP/APPLICANT:

HEBER MEADOWS LAND HOLDINGS LLC
CARE OF DAVE DAVIS
6339 PASEO DEL LAGO
CARLSBAD, CA 92011

CIVIL ENGINEER:

EGAN CIVIL, INC.
BENJAMIN DANIEL EGAN, PE, PLS
41650 COMMERCE STREET, SUITE 100
INDIO CA 92201
(760) 404-7663
BEGAN@EGANCIVIL.COM

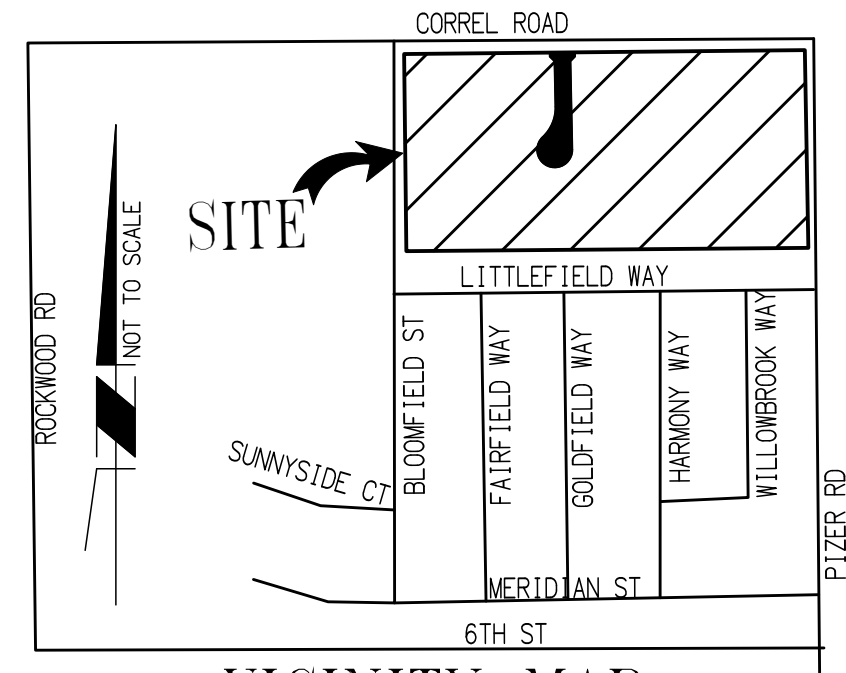
APN AND LEGAL DESCRIPTION:

REAL PROPERTY IN THE UNINCORPORATED AREA OF THE COUNTY OF IMPERIAL, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:
LOT D, OF HEBER MEADOWS TRACT 956 UNIT NO. 1, IN THE COUNTY OF IMPERIAL, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 23, PAGES 39 THROUGH 43 INCLUSIVE OF FINAL MAPS, RECORDS OF IMPERIAL COUNTY, CALIFORNIA.
EXCEPTING THEREFROM AS MINERAL INTEREST AND NOT AS A ROYALTY INTEREST, ONE HUNDRED PERCENT (100%) OF ALL OIL, GAS AND OTHER HYDROCARBONS, GEOTHERMAL RESOURCES AND DEFINED IN SECTION 6903 OF THE CALIFORNIA PUBLIC RESOURCES CODE AND ALL OTHER MINERALS, WHETHER SIMILAR TO THOSE HEREIN SPECIFIED OR NOT, WITHIN OR THAT MAY BE PRODUCED FROM SAID REAL PROPERTY BELOW A DEPTH OF 500 FEET AND TO PRODUCE, INJECT, STORE AND REMOVE FROM OR THROUGH SUCH WELL OR WORKS, OIL, GAS AND OTHER SUBSTANCES OF WHATEVER NATURE, INCLUDING THE RIGHT TO PERFORM ANY AND ALL OPERATIONS DEEMED BY THE IRVINE COMPANY NECESSARY OR CONVENIENT FOR THE EXERCISE OF SUCH MINERAL RIGHTS, THEN TO THE THEN OWNER OF THE REAL PROPERTY GRANTED HEREIN ABOVE TO BEN ABATTI, MARGARET L. ABATTI, TONY ABATTI AND NINFA ABATTI, AS RESERVED BY THE IRVINE COMPANY, A MICHIGAN CORPORATION IN DEED RECORDED JULY 29, 1983 AS INSTRUMENT NO. 102 IN BOOK 1505, PAGE 1312 OF OFFICIAL RECORDS.

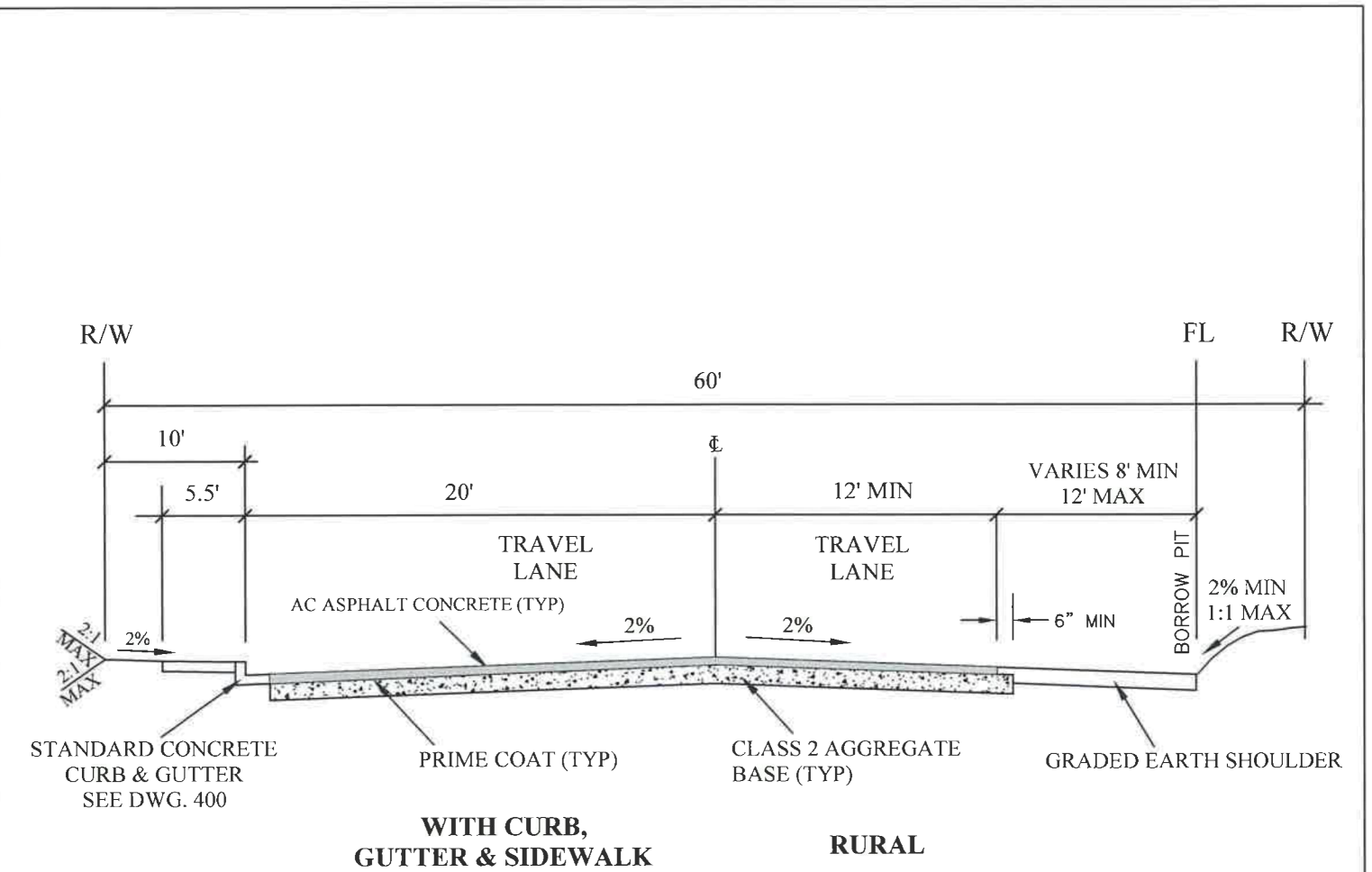
APN: 054-601-016-000

TOPOGRAPHIC DATA:

THE FIELD SURVEY WAS COMPLETED BY EGAN CIVIL, INC. ON SEPTEMBER 2, 2020 AND IS AUGMENTED WITH AERIAL PHOTOGRAMMETRY PROVIDED BY INLAND AERIAL SURVEYS UTILIZING CONTROL PROVIDED BY EGAN CIVIL, INC. THE DATE OF THE AERIAL FLIGHT IS 9/9/2020.



VICINITY MAP



WITH CURB, GUTTER & SIDEWALK
RURAL
LOCAL STREET

NOT TO SCALE

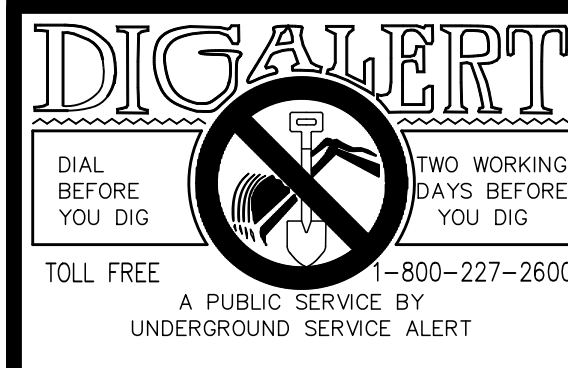
- NOTES:
- SEE APPROVED PLANS AND DWG. 440 FOR ROAD STRUCTURAL SECTIONS.
 - FOR RURAL SECTION, MINIMUM PAVED WIDTH IS 12' FOR EACH LANE A MINIMUM OF TWO LANES SHALL BE PROVIDED UNLESS OTHERWISE REQUIRED BY THE PUBLIC WORKS DIRECTOR.
 - FOR ALL CONCRETE FORM WORK, IF APPLICABLE, ALL METAL FORM STAKES MUST HAVE PROTECTIVE DEVICES SUCH AS REBAR CAPS INSTALLED AT ALL TIMES DURING USE TO ADEQUATELY ENSURE PUBLIC SAFETY.
 - INTENDED FOR AREAS NEAR FUTURE RESIDENTIAL DEVELOPMENTS OR TOWNSITES.



COUNTY OF IMPERIAL
DEPARTMENT OF PUBLIC WORKS
EL CENTRO, CALIFORNIA

LOCAL STREET

APPROVED BY: <i>John A. Gay</i> JOHN A. GAY, PE DIRECTOR OF PUBLIC WORKS	DATE: 7/7/2022	REVISIONS	BY	APRD	DATE	CHECKED F.F.	DATE 06/21/22
						DRAWN G.C.V.	430



ENGINEER	DATE	REVISIONS	CITY	APPR.	DATE

BENCHMARK: NGS 080432 ELEVATION: 990.00 DATUM: NAVD83 + 1000 FEET
DESCRIPTION: GSS BRASS DISK STAMPED "1 1224 - 1971" - LOCATED 3.05 MILES EAST ALONG HOLTON INTER-URBAN RAILWAY FROM SOUTHERN PACIFIC STATION AT EL CENTRO, THENCE 4.25 MILES SOUTH ALONG STATE HIGHWAY 111, AT THE NORTHEAST CORNER OF JUNCTION OF ABATTI ROAD, 87.5 FEET EAST OF THE CENTERLINE OF THE EAST LANES OF THE HIGHWAY, 26.5 FEET EAST OF THE CENTERLINE OF THE EAST FRONTAGE ROAD, 62 FEET NORTH OF THE CENTERLINE OF ABATTI ROAD, IN THE TOP AND 0.5 FEET SOUTH OF NORTH END OF THE EAST CONCRETE HEADWAY OF THE ARCH CULVERT UNDER THE FRONTAGE ROAD, ABOUT LEVEL WITH THE FRONTAGE ROAD. (LOCATED IN SEC 23, T 16 S, R 14 E, SAN BERNARDINO MERIDIAN.)
BASE OF BEARINGS: THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM (CCS83), ZONE VI, AS DETERMINED LOCALLY BY THE LINE BETWEEN CONTINUOUS OPERATING GPS BASE STATION STATIONS P498 AND P744, (EPOCH 2017.50) COORDINATES), AS COMPUTED AND PUBLISHED BY SCORPPS ORBIT AND PERMANENT ARRAY CENTER (SOPAC) AND THE CALIFORNIA SPATIAL REFERENCE CENTER (CSRC), BEING: NORTH 42°48'48.17" EAST.

ABBREVIATIONS:
C/L CENTERLINE
COR. CORNER
E. EAST
EG. EXISTING GROUND
FL. FLOW LINE
FS. FINISH SURFACE
GPS GLOBAL POS.
S. SYSTEM
HYD. FIRE HYDRANT
IP IRON PIPE
MB MAP BOOK
MON. MONUMENT
N. NORTH
REF. REFERENCE
R/W RIGHT-OF-WAY
RS RECORD OF SURVEY
PMB PARCEL MAP BOOK
S. SOUTH
SEC. SECTION
SDMH STORM DRAIN MANHOLE
SSMH SAN. SEWER MANHOLE
TC TOP OF CURB
TOOL TOP OF COLUMN
TW TOP OF WALL
VLV. VALVE
W. WEST
WM WATER METER
(XX.XX) EXISTING ELEVATION CALLOUT



EGAN CIVIL, INC.
PO BOX 5282, LA QUINTA, CA 92248-5282
(760) 404-7663 WWW.EGANCIVIL.COM
PREPARED UNDER THE DIRECT SUPERVISION OF:
BENJAMIN DANIEL EGAN, R.C.E. 73070 DATE: 08/05/2022

HEBER MEADOWS LAND HOLDINGS LLC
6339 PASEO DEL LAGO
CARLSBAD, CA 92011
CARE OF: DAVE DAVIS
760-456-6000 EXT. 173

UNINCORPORATED TOWNSITE, COUNTY OF IMPERIAL, STATE OF CALIFORNIA
~MIRALUZ~
HEBER, CA 92249
**IMPROVEMENT PLANS
COVER SHEET**
FOR: CHELSEA DEVELOPMENT

SHEET
CO.0
OF 6 SHEETS
FILE NO. 20190367

PRINTED: 08/05/2022

STREET IMPROVEMENT PLAN - MIRALUZ -

LOT 1 OF TENTATIVE TRACT MAP 00922, BEING A PORTION OF LOT D OF HEBER MEADOWS TRACT 956 UNIT 1, AS SHOWN BY MAP FILED IN BOOK 23 OF MAPS, PAGE 39-43, RECORDS OF THE COUNTY OF IMPERIAL, STATE OF CALIFORNIA, SAID LANDS BEING LOCATED IN A PORTION OF SECTION 27, TOWNSHIP 16 SOUTH, RANGE 14 EAST, SAN BERNARDINO MERIDIAN.

CONDITIONS OF APPROVAL

GENERAL CONDITIONS: 1

- (1) THE DEVELOPER SHALL COMPLY WITH ALL LOCAL, STATE AND/OR FEDERAL LAWS, RULES, REGULATIONS AND/OR STANDARDS AS THEY PERTAIN TO THIS PROJECT, WHETHER SPECIFIED HEREIN OR NOT.
- (2) THE DEVELOPER SHALL PAY ANY AND ALL AMOUNTS AS DETERMINED BY THE COUNTY OF IMPERIAL TO DEFRAID ALL COSTS FOR THE REVIEW OF REPORTS, FIELD INVESTIGATIONS, OR OTHER ACTIVITIES RELATED TO COMPLIANCE WITH THIS PROJECT, COUNTY ORDINANCES, AND/OR ANY OTHER LAWS THAT APPLY. NO TRACT MAP SHALL RECORD UNTIL ALL FEES (COSTS) RELATED TO THIS MAP AND THE MITIGATED NEGATIVE DECLARATION ARE PAID IN FULL.
- (3) THE DEVELOPER SHALL PROVIDE AND DEDICATE TO THE COUNTY AND OTHER APPLICABLE AGENCIES ALL NECESSARY EASEMENTS.
- (4) ALL "OFF-SITE" IMPROVEMENT PLANS SHALL BE REVIEWED AND APPROVED BY THE COUNTY OF IMPERIAL, DEPARTMENT OF PUBLIC WORKS IN COOPERATION WITH THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION, AND WHERE APPLICABLE THE HEBER PUBLIC UTILITIES DISTRICT, PRIOR TO ANY CONSTRUCTION. THE PROJECT SHALL BE CONSTRUCTED TO ALL COUNTY AND STATE STANDARDS WITH THE MOST RESTRICTIVE CONDITION APPLYING.
- (5) ALL INTERIOR ROAD IMPROVEMENTS SHALL MEET REQUIRED STANDARDS OF THE COUNTY OF IMPERIAL.
- (6) ALL IMPROVEMENT PLANS INCLUDING LOT GRADINGS, INFRASTRUCTURE TO BE SUBMITTED TO THE COUNTY DEPARTMENT OF PUBLIC WORKS FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION. IN PERFORMING THE REVIEW, COUNTY STANDARDS SHALL GOVERN.
- (7) ALL PARCELS SHALL HAVE PREMISE IDENTIFICATION NUMBERS CLEARLY POSTED ON THE CURB AND THE RESIDENCE, PER UNIFORM FIRE CODE 1988, (OR LATEST EDITION) SECTION 10.208(A). PREMISE NUMBERS SHALL BE AT LEAST SIX INCHES (6") IN HEIGHT AND OF CONTRASTING COLOR TO THE BACKGROUND OR INTERNALLY ILLUMINATED. THE NUMBERS WILL BE ASSIGNED BY PLANNING & DEVELOPMENT SERVICES DEPARTMENT; HOWEVER, THE DEVELOPER SHALL PROVIDE AN AUTOCAD DIGITAL (MAP) COPY TO THE DEPARTMENT SHOWING ALL LOT NUMBERS. MULTI-FAMILY UNITS ON EACH PARCEL WILL BE ASSIGNED ADDRESSES AND A DIRECTORY SIGN SHALL BE PLACED ON THE PROPERTY. ALL UNIT ADDRESS NUMBERING / SIZE TO BE APPROVED BY IMPERIAL COUNTY.
- (8) ALL PLANS, REPORTS, AND STUDIES SHALL BE REVIEWED AND APPROVED BY THE RESPECTIVE RESPONSIBLE AGENCIES, PRIOR TO THE DEVELOPER CONSTRUCTING OR INSTALLING SAID IMPROVEMENTS. ALL INSTALLATION OF SAID IMPROVEMENTS SHALL BE REVIEWED AND INSPECTED BY THE RESPECTIVE RESPONSIBLE AGENCIES. UNLESS EXPRESSLY DEFERRED IN THESE CONDITIONS ALL CONDITIONS ARE TO BE SATISFIED PRIOR TO RECORDECTION OF THE FINAL MAP.
- (9) ALL EASEMENTS OF RECORD MUST BE SHOWN ON THE FINAL TRACT MAP.
- (10) ALL SOLID AND HAZARDOUS WASTE SHALL BE DISPOSED OF IN AN APPROVED SOLID WASTE DISPOSAL SITE IN ACCORDANCE WITH EXISTING COUNTY, STATE, AND FEDERAL REGULATIONS.
- (11) THE DEVELOPER SHALL IMPLEMENT A WATERING PLAN TO CONTROL DUST AND REDUCE FUGITIVE DUST DURING CONSTRUCTION, AND SHALL PROVIDE A DUST MITIGATION PLAN TO THE IMPERIAL COUNTY AIR POLLUTION CONTROL DISTRICT FOR REVIEW AND APPROVAL PRIOR TO THE ISSUANCE OF A GRADING PERMIT. A COPY SHALL BE ON FILE WITH THE PLANNING & DEVELOPMENT SERVICES DEPARTMENT.
- (12) ALL IMPROVEMENTS REQUIRED FOR DEVELOPMENT SHALL BE CONSTRUCTED, OR IN LIEU THEREOF, SECURITY PROVIDED PRIOR TO RECORDECTION OF THE TRACT MAP, AND SHALL BE IN CONFORMANCE WITH THE COUNTY OF IMPERIAL ORDINANCES.
- (13) THE DEVELOPER SHALL BE RESPONSIBLE FOR, PARTICIPATE IN, AND COMMIT NECESSARY RESOURCES TO ASSURE THAT ALL INFRASTRUCTURE(S) NECESSARY IS INSTALLED IN THE SEQUENCE AND AT THE TIME REQUIRED IN ORDER TO IMPLEMENT THE TRACT MAP.
- (14) A NOISE STUDY/ANALYSIS HAS BEEN DONE AND SHALL BE IMPLEMENTED, NOT TO EXCEED EXTERIOR 70 CNEL AND 55 CNEL INTERIOR DBA SHALL BE INSTALLED THROUGH PLANNING & DEVELOPMENT SERVICES DEPARTMENT APPROVED MEASURES. A NOISE ATTENUATION STRUCTURE SEPARATING THE PROJECT FROM ADJACENT RESIDENTIAL AND INDUSTRIAL AREAS SHALL BE CONSTRUCTED SHALL BE REQUIRED TO MITIGATE NOISE IMPACTS FROM ADJACENT LAND USES.
- (15) THE DEVELOPER SHALL PROVIDE A LANDSCAPING PLAN TO THE COUNTY PLANNING & DEVELOPMENT SERVICES DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO ISSUANCE OF THE FIRST BUILDING PERMIT.
- (16) THE DEVELOPER SHALL PROVIDE A FULL SOILS REPORT FOR THE SITE, INCLUDING THE ADDRESSING OF SEISMIC HAZARDS AND IMPLEMENT THE DESIGN OF ALL FOUNDATION SYSTEMS ACCORDING TO THE SOIL ENGINEER'S RECOMMENDATION. ANY AND ALL CONSTRUCTION SHALL MEET THE LATEST UNIFORM CODES AND PROVIDE FOUNDATION ROADBEDS AND OTHER STRUCTURES SUSCEPTIBLE TO EXPANSIVE SOILS AS RECOMMENDED IN THE SOILS REPORT.
- (17) TRACT MAP #00992 SHALL JOIN ANY JOIN ANY CURRENT ASSESSMENT DISTRICT APPLICABLE TO THE AREA IDENTIFIED BY CONDITION 18 OF TRACT MAP #00956.

ENVIRONMENTAL EVALUATION COMMITTEE SPECIFIC MITIGATION MEASURES: 2

- (18) ON-SITE/INFRASTRUCTURE IMPROVEMENTS (PUBLIC WORKS DEPARTMENT). THE DEVELOPER SHALL CONSTRUCT SIDEWALKS ALONG THE PROJECT'S FRONTAGE WITH CORRELL ROAD AND PITZER ROAD. STREET LIGHTING SHALL BE PROVIDED ALONG THE PROJECT'S FRONTAGE WITH CORRELL AND PITZER ROAD WITH THE FEASIBILITY OF PROVIDING A BUS STOP AT THE PROJECT SITE AND HAVING THE LOCAL TRANSIT AUTHORITY EXTEND BUS SERVICE INTO THE PROJECT AREA SHALL BE CONSIDERED AND INVESTIGATED. THE DEVELOPER SHALL DEDICATE RIGHTS-OF-WAY FOR BIKE LANES CONNECTING TO THE LOCAL BIKE NETWORK.

- (19) BIRROWING OWL SURVEY (CALIFORNIA DEPT. OF FISH AND GAME). THE DEVELOPER SHALL DO A PRE-CONSTRUCTION SURVEY FOR BURROWING OWLS WITHIN ONE MONTH OF THE COMMENCEMENT OF EARTH DISTURBANCE (GRADING OR CONSTRUCTION) ON THE PROJECT SITE; IF THE PRE-CONSTRUCTION SURVEY DETERMINES THAT NO BURROWING OWLS ARE ON THE PROJECT SITE, ALL ON-SITE BURROWS SHALL BE CAVED PRIOR TO THE COMMENCEMENT OF EARTH DISTURBANCE; AND IF THE SURVEY DETERMINES THAT BURROWING OWLS ARE ON-SITE, ADULT OWLS SHALL BE CAPTURED AND RELOCATED TO AN OFF-SITE RESERVE AND OTHER MEASURES TO MITIGATE POTENTIAL IMPACTS TO THE BURROWING OWL ARE AVAILABLE AND CAN BE NEGOTIATED WITH THE CALIFORNIA DEPARTMENT OF FISH AND GAME AS APPROPRIATE.
- (20) NOISE - (PLANNING & DEVELOPMENT SERVICES DEPARTMENT). THE DEVELOPER SHALL CONSTRUCT A NOISE BARRIER OF SIX FEET MEASURED VERTICALLY FROM THE PROPOSED PAD ELEVATION ALONG BACKYARD PROPERTY LINES OF SINGLE-FAMILY LOTS ADJACENT TO PITZER ROAD; ALL OF THE RECOMMENDED BARRIERS SHALL WRAP AROUND SIDE YARDS WHERE THEY MEET INTERNAL STREETS AND DRAINAGES; BARRIERS MAY BE EARTHEN BERMS, MASONRY, WOOD, PLEXIGLASS, GLASS OR SIMILAR MATERIAL OR A COMBINATION OF THESE MATERIALS AND SHOULD BE SOLID, WITH NO OPENINGS FROM THE GROUND TO THE INDICATED HEIGHT; WHEN GRADING PLANS AND ARCHITECTURAL PLANS BECOME AVAILABLE, AN INDOOR NOISE ANALYSIS SHALL BE CONDUCTED FOR TWO-STORY SINGLE-FAMILY HOMES ADJACENT TO OR EXPOSED TO NOISE LEVELS GREATER THAN 65 DB CNEL; PROPOSED MULTIPLE-FAMILY HOMES SHALL EITHER BE SITUATED AT LEAST 110 FEET FROM THE CENTERLINES OF PITZER ROAD AND CORRELL ROAD OR BE PROVIDED WITH AIR CONDITIONING OR MECHANICAL DEVICES PROVIDING FRESH AIR SO WINDOWS CAN REMAIN CLOSED TO ACHIEVE AN INTERIOR NOISE LEVEL OF 45 DB CNEL; AND, FUTURE HOMEOWNERS SHALL RECEIVE NOTIFICATION REGARDING THE POTENTIAL NOISE IMPACTS ASSOCIATED WITH NEARBY AGRICULTURAL AND OTHER ACTIVITIES.
- (21) TRAFFIC - (DEPARTMENT OF PUBLIC WORKS/CALTRANS). THE DEVELOPER SHALL CONSTRUCT THE TRAFFIC SIGNAL AT THE SR 86/PITZER ROAD AND A DEDICATED EASTBOUND LEFT-TURN LANE AND A DEDICATED WESTBOUND RIGHT-TURN LANE FOR ACCESS ONTO AND OFF OF SR 86 WHEN WARRANTS ARE MET. THE DEVELOPER SHALL ENSURE THAT DRIVEWAYS TO THE MULTI-FAMILY PORTION OF THE PROJECT SHALL BE RESTRICTED TO RIGHT-TURN ONLY IN THE FUTURE AT THE DISCRETION OF THE COUNTY PUBLIC WORKS DIRECTOR.

TRAFFIC AND ROAD RELATED CONDITIONS: 3

- (22) PROPOSED PRIVATE ROADS (WILLOWBROOK PLACE) AND CUL-DE-SAC INSIDE SUBDIVISION WOULD BE CLASSIFIED AS A LOCAL COUNTY ROAD - (RESIDENTIAL), WITH TWO (2) LANES, REQUIRING SIXTY FEET (60') OF RIGHT OF WAY, BEING THIRTY (30) FEET FROM PROPOSED CENTERLINE AND A CUL-DE-SAC WITH A 50-FOOT RADIUS. IT IS REQUIRED THAT SUFFICIENT FUTURE RIGHT OF WAY BE PROVIDED TO MEET THIS ROAD CLASSIFICATION IN THE EVENT SAID PRIVATE ROAD WERE EVER DEDICATED TO THE COUNTY.
- (23) TENTATIVE MAP TR #00992, BEING LOT D OF HEBER MEADOWS TRACT #00956 UNIT NO.1, AS SHOWN BY MAP FILED IN BOOK 23 OF MAPS, PAGES 39-43, RECORDS OF THE COUNTY OF IMPERIAL, STATE OF CALIFORNIA. HEBER MEADOWS TRACT #00956 CONDITIONAL OF APPROVAL WILL APPLY TO THIS DEVELOPMENT.
- (24) AS INDICATED ON THE PROJECT DESCRIPTION AND THE INTERSECTION CONTROL EVALUATION REPORT INCLUDED WITH THE PROJECT DOCUMENTS, THE SUBDIVIDER WILL COMPLETE SIGNALIZATION AND WIDENING IMPROVEMENTS AT THE PITZER ROAD AND STATE ROUTE 86 INTERSECTION.
 - a. THE SUBDIVIDER SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL RIGHT OF WAY REQUIRED FOR THE INSTALLATION OF THE INTERSECTION IMPROVEMENTS.
 - b. THE SUBDIVIDER SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL RIGHT OF WAY REQUIRED FOR ANY OTHER REQUIRED IMPROVEMENTS ALONG PITZER ROAD.
- (25) THE SUBDIVIDER SHALL PREPARE AND SUBMIT PLANS FOR THE SIGNALIZATION AND WIDENING IMPROVEMENTS AT THE PITZER ROAD AND STATE ROUTE 86 INTERSECTION, IMPROVEMENTS ALONG WILLOWBROOK PLACE, AND ONSITE IMPROVEMENTS FOR ALL FIVE (5) PROPOSED LOTS. SAID PLANS SHALL BE APPROVED BY THE IMPERIAL COUNTY PUBLIC WORKS DEPARTMENT, CALTRANS, IMPERIAL IRRIGATION DISTRICT, HEBER PUBLIC UTILITY DISTRICT, AND ANY OTHER PERTAINING AGENCY PRIOR TO RECORDECTION OF THE FINAL MAP.
- (26) THE SUBDIVIDER SHALL PROVIDE WRITTEN VERIFICATION FROM HEBER PUBLIC UTILITY DISTRICT THAT SUFFICIENT WATER, SEWER, AND STORM DRAIN SERVICES ARE AVAILABLE TO MEET THE PROJECTED DEMANDS OF THE PROPOSED SUBDIVISION PRIOR TO APPROVAL OF THE TENTATIVE MAP.
- (27) NO FINAL CERTIFICATE OF OCCUPANCY FOR ANY STRUCTURE OR BUILDING SHALL BE ISSUED UNTIL THE SIGNALIZATION AND WIDENING IMPROVEMENTS AT THE PITZER ROAD AND STATE ROUTE 86 INTERSECTION HAVE BEEN COMPLETED.
- (28) THE SUBDIVIDER SHALL FURNISH A DRAINAGE AND GRADING PLAN, HYDROLOGY STUDY, AND GEOTECHNICAL REPORT TO PROVIDE FOR PROPERTY GRADING AND DRAINAGE CONTROL, WHICH SHALL ALSO INCLUDE PREVENTION OF SEDIMENTATION OF DAMAGE TO OFF-SITE PROPERTIES. SAID DOCUMENTS SHALL BE COMPLETED PER COUNTY OF IMPERIAL DEPARTMENT OF PUBLIC WORKS ENGINEERING DESIGN GUIDELINES MANUAL FOR THE PREPARATION AND CHECKING OF STREET IMPROVEMENT, DRAINAGE, AND GRADING PLANS WITHIN IMPERIAL COUNTY. THE PLAN, STUDY AND REPORT SHALL BE SUBMITTED TO THE DEPARTMENT OF PUBLIC WORKS FOR REVIEW AND APPROVAL.

- (29) SECTION 12.10.020 - STREET IMPROVEMENT REQUIREMENTS OF IMPERIAL COUNTY ORDINANCE:
 - a. STREET IMPROVEMENTS SHALL BE REQUIRED IN CONJUNCTION WITH, BUT NOT LIMITED TO, ANY CONSTRUCTION, GRADING, OR RELATED WORK, INCLUDING THE CONSTRUCTION OF STRUCTURES, BUILDINGS, OR MAJOR ADDITIONS THERETO, ON PROPERTY LOCATED ADJACENT TO ANY COUNTY STREET OR ON PROPERTY UTILIZING ANY COUNTY STREET FOR INGRESS AND EGRESS.

- b. FOR THE PURPOSE OF ESTABLISHING PROPER STANDARDS, SPECIFICATION AND DIRECTIONS FOR DESIGN AND CONSTRUCTION OF ANY ROAD, OR OTHER LAND DIVISION IMPROVEMENTS REQUIRED TO BE CONSTRUCTED IN THE UNINCORPORATED TERRITORY OF IMPERIAL COUNTY, THE DOCUMENT ENTITLED "ENGINEERING DESIGN GUIDELINES MANUAL FOR THE PREPARATION AND CHECKING OF STREET IMPROVEMENT, DRAINAGE, AND GRADING PLANS WITHIN IMPERIAL COUNTY" REVISION DATED SEPTEMBER 15, 2008, IS HEREBY ADOPTED AND MADE A PART OF THIS DIVISION BY REFERENCE. THREE COPIES OF WHICH ARE ON FILE IN THE OFFICE OF THE CLERK OF THE BOARD OF SUPERVISORS AND FOR USE AND EXAMINATION BY THE PUBLIC. COPIES OF THE MANUAL CAN ALSO BE FOUND AT THE IMPERIAL COUNTY DEPARTMENT OF PUBLIC WORKS.
- (30) ANY ACTIVITY AND/OR WORK WITHIN IMPERIAL COUNTY RIGHT-OF-WAY SHALL BE COMPLETED UNDER A PERMIT ISSUED BY THIS DEPARTMENT (ENCROACHMENT PERMIT) AS PER CHAPTER 12.12 - EXCAVATIONS ON OR NEAR A PUBLIC ROAD OF THE IMPERIAL COUNTY ORDINANCE.
 - a. ANY ACTIVITY AND/OR WORK MAY INCLUDE, BUT NOT BE LIMITED TO, THE INSTALLATION OF CURB, GUTTER, SIDEWALK, DRIVEWAYS, ASPHALT PAVING, STREET LIGHTS, TRAFFIC SIGNALS, STABILIZED CONSTRUCTION ENTRANCES, SITE FENCE INSTALLATION, UNDERGROUND/OVERHEAD ELECTRICAL CROSSINGS, WATER/SEWER/STORM DRAIN PIPELINES AND CONNECTIONS, ROAD REPAIRS, BEST MANAGEMENT PRACTICES, TEMPORARY TRAFFIC CONTROL, OR ANY OTHER ROAD IMPROVEMENTS.
- (31) ALL OFF-SITE IMPROVEMENTS WITHIN IMPERIAL COUNTY RIGHT-OF-WAY SHALL BE FINANCIALLY SECURED BY EITHER A ROAD IMPROVEMENT BOND OR LETTER OF CREDIT AS APPROVED BY THIS DEPARTMENT PRIOR TO RECORDECTION OF THE FINAL MAP. NO ENCROACHMENT, BUILDING OR GRADING PERMITS SHALL BE ISSUED UNTIL SUCH TIME SAID FINANCIAL SECURITY HAS BEEN PROVIDED.
- (32) ALL PERMANENT STRUCTURES ABUTTING PUBLIC ROADS SHALL BE LOCATED OUTSIDE COUNTY ULTIMATE RIGHT-OF-WAY.
- (33) ENCROACHMENT PERMIT REQUIRED. SECTION 12.10.030 - BUILDING PERMITS OF IMPERIAL COUNTY ORDINANCE:
 - a. NO BUILDING PERMIT FOR ANY STRUCTURE OR BUILDING OR MAJOR ADDITION TO A BUILDING OR STRUCTURE SHALL BE ISSUED UNTIL THE IMPROVEMENTS REQUIRED BY SECTION 12.10.010 OF THIS CHAPTER HAVE BEEN INSTALLED. IN ADDITION, NO BUILDING PERMIT SHALL BE ISSUED UNTIL THERE HAS BEEN COMPLIANCE WITH CHAPTER 12.12 OF THIS TITLE AND THE REQUIREMENT THAT AN ENCROACHMENT PERMIT BE OBTAINED.
- (34) THE SOUTH AND WEST EXTERIOR BOUNDARY LINES OF THE SUBDIVISION, AT A MINIMUM, SHALL BE FULLY MONUMENTED PRIOR TO RECORDECTION OF THE FINAL MAP.
- (35) THE FINAL SURVEY MONUMENTS FOR INTERIOR LOT CORNERS, IF DEFERRED BY AGREEMENT BETWEEN THE SUBDIVIDER AND THE COUNTY EXECUTED PRIOR TO RECORDECTION OF THE FINAL MAP, SHALL BE SET IMMEDIATELY FOLLOWING SITE ROUGH GRADING AND PRIOR TO ISSUANCE OF ANY PERMIT FOR DEVELOPMENT OTHER THAN SITE GRADING.
- (36) PRIOR TO RECORDECTION OF THE FINAL MAP, THE SUBDIVIDER SHALL PROVIDE A DEPOSIT IN THE AMOUNT OF \$1,000.00 TO THE DEPARTMENT OF PUBLIC WORKS FOR THE FIELD INSPECTION OF ANY SURVEY MONUMENTS WHICH HAVE BEEN DEFERRED BY AGREEMENT BETWEEN THE SUBDIVIDER AND THE COUNTY EXECUTED PRIOR TO RECORDECTION OF THE FINAL MAP. THE SUBDIVIDER SHALL ONLY PAY ACTUAL COSTS FOR FIELD INSPECTION OF SURVEY MONUMENTS, ANY REMAINING BALANCE, IF ANY, SHALL BE REFUNDED TO THE SUBDIVIDER.
- (37) THE FINAL SURVEY MONUMENT(S) FOR STREET CENTERLINE, IF DEFERRED BY AGREEMENT BETWEEN THE SUBDIVIDER AND THE COUNTY EXECUTED PRIOR TO RECORDECTION OF THE FINAL MAP, SHALL BE SET IMMEDIATELY BEFORE STREET PAVING. THE INSTALLATION OF MONUMENT WELL SLEEVES SHALL BE INCLUDED IN THE COSTS FOR STREET IMPROVEMENTS AND SHALL NOT BE TIED TO THE SETTING OF STREET CENTERLINE MONUMENTS.
 - a. WITHIN FIVE (5) DAYS AFTER THE FINAL SETTING OF INTERIOR LOT MONUMENTS HAS BEEN COMPLETED, THE SURVEYOR OF RECORD SHALL GIVE WRITTEN NOTICE TO THE SUBDIVIDER AND THE COUNTY SURVEYOR THAT FINAL MONUMENTS FOR INTERIOR LOT CORNERS HAVE BEEN SET. THE SUBDIVIDER SHALL PROVIDE THE COUNTY SURVEYOR WITH EVIDENCE OF PAYMENT TO THE SURVEYOR OF RECORD FOR THE FINAL SETTING OF INTERIOR LOT CORNERS AND RECEIPT THEREOF BY THE SURVEYOR OF RECORD.
 - b. WITHIN FIVE (5) DAYS AFTER THE FINAL SETTING OF STREET CENTERLINE MONUMENTS HAS BEEN COMPLETED, THE SURVEYOR OF RECORD SHALL GIVE WRITTEN NOTICE TO THE SUBDIVIDER AND THE COUNTY SURVEYOR THAT FINAL MONUMENTS FOR STREET CENTERLINES HAVE BEEN SET. THE SUBDIVIDER SHALL PROVIDE THE COUNTY SURVEYOR WITH EVIDENCE OF PAYMENT TO THE SURVEYOR OF RECORD FOR THE FINAL SETTING OF STREET CENTERLINE AND RECEIPT THEREOF BY THE SURVEYOR OF RECORD.
- (38) THE DEVELOPER SHALL ENGAGE THE SERVICES OF A PERSON AUTHORIZED TO PERFORM LAND SURVEYING SERVICES, WHO SHALL REFERENCE ALL SURVEY MONUMENTS AND FILE A CORNER RECORD (OR RECORD OF SURVEY) OF THE REFERENCES WITH THE COUNTY SURVEYOR PRIOR TO ISSUANCE OF A PERMIT FOR DEVELOPMENT OTHER THAN SITE GRADING. MONUMENT PRESERVATION REPORT - PRE-CONSTRUCTION (MPR-01) SHALL BE COMPLETED AND SUBMITTED TO THE IMPERIAL COUNTY DEPARTMENT OF PUBLIC WORKS FOR REVIEW AND APPROVAL.
- (39) THE DEVELOPER SHALL ENGAGE THE SERVICES OF A PERSON AUTHORIZED TO PERFORM LAND SURVEYING SERVICES, WHO SHALL SET REPLACEMENTS FOR ANY MONUMENT(S) WHICH WERE DESTROYED OR DISTURBED BY CONSTRUCTION ACTIVITY AND FILE A CORNER RECORD (OR RECORD OF SURVEY) OF ANY MONUMENTS WHICH HAVE BEEN RESTORED, IF ANY, PRIOR TO THE ISSUANCE OF A CERTIFICATE OF COMPLETION/CERTIFICATE OF OCCUPANCY. MONUMENT PRESERVATION REPORT - POST-CONSTRUCTION (MPR-02) SHALL BE COMPLETED AND SUBMITTED TO THE IMPERIAL COUNTY DEPARTMENT OF PUBLIC WORKS FOR REVIEW AND APPROVAL.
- (40) THE SUBDIVIDER WILL BE REQUIRED TO REPAIR ANY DAMAGES CAUSED TO COUNTY ROADS BY CONSTRUCTION TRAFFIC DURING CONSTRUCTION AND MAINTAIN THEM IN SAFE CONDITIONS.

- (41) THE SUBDIVIDER SHALL OBTAIN A CALTRANS ENCROACHMENT PERMIT FOR PITZER ROAD IMPROVEMENTS CONNECTING TO STATE ROUTE 86.
- (42) THE SUBDIVIDER SHALL OBTAIN IMPERIAL IRRIGATION DISTRICT ENCROACHMENT PERMIT FOR ANY AND ALL DEVELOPMENT IMPROVEMENTS IMPACTS TO IMPERIAL IRRIGATION DISTRICT FACILITIES.
- (43) THE SUBDIVIDER SHALL COORDINATE AND/OR OBTAIN ANY REQUIRED PERMITS FROM HEBER PUBLIC UTILITY DISTRICT FOR ANY PROPOSED WATER, SEWER, STORM DRAIN, AND STREET LIGHT IMPROVEMENTS.
- (44) ALL SOLID AND HAZARDOUS WASTE SHALL BE DISPOSED OF IN APPROVED SOLID WASTE DISPOSAL SITES IN ACCORDANCE WITH EXISTING COUNTY, STATE AND FEDERAL REGULATIONS (PER IMPERIAL COUNTY CODE OF ORDINANCES, CHAPTER 6.72).
- (45) ALL ON-SITE TRAFFIC AREAS SHALL BE HARD SURFACED TO PROVIDE ALL WEATHER ACCESS FOR EMERGENCY VEHICLES. THE SURFACING SHALL MEET THE DEPARTMENT OF PUBLIC WORKS AND FIRE/OFFICE OF EMERGENCY SERVICES (ECS) STANDARDS AS WELL AS THOSE OF THE AIR POLLUTION CONTROL DISTRICT (APCD).
- (46) THE PROJECT SHALL REQUIRE A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT AND NOTICE OF INTENT (NOI) FROM THE REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) PRIOR TO COUNTY APPROVAL OF ONSITE GRADING PLAN (40 CFR 122.28).
- (47) A TRANSPORTATION PERMIT SHALL BE REQUIRED FROM ROAD AGENCY(S) HAVING JURISDICTION OVER THE HAUL ROUTE(S) FOR ANY HUALS OF HEAVY CONSTRUCTION EQUIPMENT AND/OR LARGE CONSTRUCTION VEHICLES WHICH IMPOSE GREATER THAN LEGAL LOADS ON RIDING SURFACES, INCLUDING BRIDGES (PER IMPERIAL COUNTY CODE OF ORDINANCES, CHAPTER 10.12 - OVERWEIGHT VEHICLES AND LOADS).
- (48) EFFECTIVE SEPTEMBER 15, 2020, THE STATE'S MANDATORY ORGANIC WASTE RECYCLING LAW (AB 1826 OR CHAPTER 727, STATUTES OF 2014) DECREASED THE THRESHOLD REQUIRING ALL BUSINESSES AND MULTI-DWELLING FACILITIES OF 5 UNITS OR MORE GENERATING TWO (2) CUBIC YARDS OR MORE OF SOLID WASTE PER WEEK TO RECYCLE THEIR ORGANIC WASTE INCLUDING LANDSCAPE WASTE, WOOD WASTE, AND FOOD WASTE. INFORMATION ABOUT POSSIBLE ORGANICS WASTE RECYCLING SERVICES CAN BE FOUND AT THE CALRECYCLE SITE AT: [HTTPS://WWW.CALRECYCLE.CA.GOV/RECYCLE/COMMERCIAL/ORGANICS/](https://www.calrecycle.ca.gov/RECYCLE/COMMERCIAL/ORGANICS/)
- (49) ALL CUL-DE-SACS AT THE END OF EACH STREET SHALL HAVE A MINIMUM PAVED RADIUS OF FIFTY (50) FEET FOR FIRE AND EMERGENCY VEHICLE TURN AROUND WITH PARKING RESTRICTIONS.
- (50) ANY ROADS WITH A BIICYCLE PATH MUST COMPLY WITH CALTRANS BIKEYWAY DESIGN CRITERIA AND SHALL BE REVIEWED AND APPROVED BY THE PUBLIC WORKS DEPARTMENT.
- (51) ALL IMPROVEMENTS SUBJECT TO A COUNTY ENCROACHMENT PERMIT SHALL BE SUBJECT TO REVIEW AND APPROVAL BY THE DIRECTOR OF PUBLIC WORKS. ALL CONDITIONS OF THE ENCROACHMENT PERMIT SHALL SUPERCEDE THOSE SHOWN ON APPROVED PLANS AND SPECIFICATIONS IF DETERMINED MORE STRINGENT AS DETERMINED BY THE DIRECTOR OF PUBLIC WORKS.
- (52) TILE LINES WITHIN RIGHT-OF-WAY MUST BE REMOVED AND PLUGGED AT THE RIGHT-OF-WAY LINE, UNLESS OTHERWISE APPROVED BY THE IMPERIAL IRRIGATION DISTRICT.
- (53) THE DEVELOPER SHALL BEAR THE COST FOR ROAD NAME SIGNS, REGULATORY AND STOP SIGNS. SIGNS ARE TO BE CONSTRUCTED AND INSTALLED BY THE DEVELOPER UNLESS OTHERWISE AGREED TO BY BOTH COUNTY AND DEVELOPER. ALL COSTS INCURRED BY COUNTY PUBLIC WORKS DEPARTMENT SHALL BE BILLED TO THE DEVELOPER. THE MINIMUM STRUCTURAL SECTION SHALL BE 3 INCHES ASPHALT CONCRETE OVER 9 INCHES OF CLASS 2 AGGREGATE BASE FOR ROADS CLASSIFIED AS LOCAL. 4 INCHES OF ASPHALT CONCRETE OVER 12 INCHES OF CLASS 2 AGGREGATE BASE FOR ROADS CLASSIFIED AS INDUSTRIAL, COMMERCIAL, COLLECTORS, OR GREATER. THESE ROAD SECTIONS ARE THE MINIMUM UNLESS A PROJECT SOILS REPORT, BASED ON THE HIGHEST TRAFFIC INDEX (TI) EXPECTED TO OCCUR DURING A 20-YEAR PERIOD FOLLOWING CONSTRUCTION THAT INDICATES A THICKER SECTION IS REQUIRED. THE TI VALUE MUST BE APPROVED BY THE DIRECTOR OF PUBLIC WORKS.
- (54) THE DEVELOPER SHALL INSTALL STREET LIGHTING WITHIN TRACT #00992 INCLUDING CORRELL ROAD, PITZER ROAD, BLOOMFIELD ROAD, WILLOWBROOK PLACE, AND CUL-DE-SAC WITH ALL COSTS BORNE BY THE DEVELOPER. STREET LIGHTING SHALL BE INSTALLED TO THE REQUIREMENTS AND STANDARDS OF THE COUNTY OF IMPERIAL, IID AND THE HEBER PUBLIC UTILITY DISTRICT. THE STREET LIGHTING SHALL BE MAINTAINED BY THE ASSESSMENT DISTRICT AS PROVIDED FOR IN CONDITION 18 OF EXISTING TRACT #00956.
- (55) THE DEVELOPER SHALL INSTALL FIRE HYDRANTS AND FIRE PROTECTION SYSTEMS TO PLANS AND SPECIFICATIONS APPROVED BY THE COUNTY PUBLIC WORKS DEPARTMENT, THE IMPERIAL COUNTY FIRE DEPARTMENT, THE UNIFORM FIRE CODE AND THE HEBER PUBLIC UTILITY DISTRICT WITH ALL COSTS BORNE BY THE DEVELOPER.
- (56) CONCRETE CURB AND GUTTER TO BE CONTIGUOUS TO SIDEWALKS, UNLESS OTHERWISE SPECIFIED AND APPROVED BY THE PUBLIC WORKS DEPARTMENT.
- (57) RIGHTS-OF-WAY:
 - a. CORRELL ROAD IS CLASSIFIED AS A MINOR ARTERIAL REQUIRING ONE HUNDRED TWO (102) FEET OF RIGHT-OF-WAY, BEING FIFTY-ONE (51) FEET FROM THE EXISTING ROAD CENTERLINE. THE DEVELOPER MUST PROVIDE SUFFICIENT RIGHT-OF-WAY TO MEET THIS ROAD CLASSIFICATION BY DEDICATION TO THE COUNTY PRIOR TO ANY UTILITIES/IMPROVEMENT(S) BEING INSTALLED. THE DEVELOPER SHALL PROVIDE A MAXIMUM OF SEVENTY-SIX (76) FEET OF RIGHT-OF-WAY ALONG THE PROJECT FRONTAGE.

- b. PITZER ROAD IS CLASSIFIED AS A MAJOR COLLECTOR REQUIRING EIGHT-FOR (84) FEET OF RIGHT-OF-WAY. HOWEVER, DUE TO THE SIGNIFICANT RESIDENTIAL OF THIS DEVELOPMENT, IT IS REQUESTED THAT ONE HUNDRED TWO (102) FEET OF RIGHT-OF-WAY (MINOR ARTERIAL) BE PROVIDED TO MEET THIS ROAD CLASSIFICATION. THE DEVELOPER SHALL PROVIDE A MAXIMUM OF FIFTY-ONE (51) FEET OF RIGHT-OF-WAY ALONG THE PROJECT FRONTAGE.
- c. ALL CANAL ALIGNMENT RIGHT-OF-WAY REVIEW, CONSTRUCTION, AND UNDER-GROUNDING SHALL BE COORDINATED WITH THE IMPERIAL IRRIGATION DISTRICT AND THE COUNTY PUBLIC WORKS DEPARTMENT.
- (58) ROAD PAVED WIDTHS: ROADS WITH SIXTY (60) FEET OF RIGHT-OF-WAY SHALL BE FORTY (40) FEET PAVED SECTION (CURB-TO-CURB DISTANCE). PROPOSED BICYCLE LANES, PARKING OR MEDIAN CURBS MAY ALSO NECESSITATE WIDER PAVED WIDTHS AND THE DEVELOPER SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY IMPROVEMENTS.
- (59) CORRELL ROAD SHALL REQUIRE A RAISED MEDIAN. THE MEDIAN SHALL BE CONSTRUCTED AT TIME OF DEVELOPMENT OF TRACT MAP #00992 LOTS ADJACENT TO CORRELL ROAD.
- (60) THE DEVELOPER SHALL DESIGN AND CONSTRUCT PITZER ROAD, ALONG THE SUBDIVISION FRONTAGE ONLY, TO PROVIDE THIRTY-TWO (32) FEET OF PAVING AT THE INTERSECTION OF CORRELL ROAD AND PITZER ROAD, TAPERING TO A MINIMUM OF TWENTY-FIVE (25) FEET OF PAVED TRAVELED WAY AT THE SOUTHERLY SUBDIVISION BOUNDARY AND CONTINUING TO STATE ROUTE 86.
- (61) FULL ON-SITE ROAD IMPROVEMENTS SHALL BE PROVIDED WITH THE FINAL MAP. ALL PLANS SHALL BE REVIEWED AND APPROVED BY THE IMPERIAL COUNTY PUBLIC WORKS DEPARTMENT.
- (62) ALL MINIMUM MITIGATION MEASURES OUTLINED IN THE TRACT MAP #00992 TRAFFIC STUDY SHALL BE ADDRESSED BY THE DEVELOPER.

DRAINAGE AND GRADING CONDITIONS:

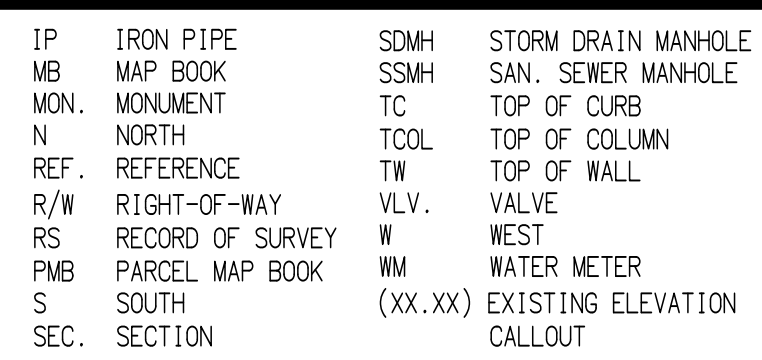
- (63) THE DEVELOPER SHALL PROVIDE A GRADING AND DRAINAGE STUDY/PLAN TO PROVIDE FOR PROPERTY GRADING AND EROSION CONTROL WHICH SHALL ALSO INCLUDE THE PREVENTION OF SEDIMENTATION OR DAMAGE TO OFFSITE PROPERTIES (AND STORM WATER RETENTION FOR A 100 YEAR STORM EVENT). THE STUDY/PLAN SHALL BE SUBMITTED TO THE DEPARTMENT OF PUBLIC WORKS FOR REVIEW AND APPROVAL AND THE DEVELOPER SHALL IMPLEMENT THE APPROVED PLAN PRIOR TO RECORDECTION OF THE TRACT MAP. EMPLOYMENT OF APPROPRIATE STORMWATER BEST MANAGEMENT PRACTICES (BMP'S) SHALL BE INCLUDED.
- (64) THE DEVELOPER SHALL PROVIDE TO THE IMPERIAL COUNTY PUBLIC WORKS DEPARTMENT, A WRITTEN VERIFICATION FROM THE IMPERIAL IRRIGATION DISTRICT, THAT THEY WILL ACCEPT SURFACE DRAINAGE FROM THIS PROPOSED SUBDIVISION.
- (65) TRACT MAP #00992 SHALL UTILIZE AND MODIFY AS REQUIRED THE EXISTING DETENTION BASIS CONSTRUCTED FOR TRACT MAP #00956 (CONDITION 43).
- (66) THE DETENTION BASIN AND ALL DRAINAGE APPURTENANCES, INCLUDING INLET AND OUTLET STRUCTURES, STORM DRAINS, ETC., ARE MAINTAINED BY THE ASSESSMENT DISTRICT ESTABLISHED BY TRACT MAP #00956.
- (67) THE DEVELOPER SHALL JOIN THE EXISTING ASSESSMENT DISTRICT TO FENCE AND MAINTAIN THE DETENTION POND, IRRIGATION SYSTEM, LANDSCAPING, AND LIGHTS FOR THE EXISTING DETENTION BASIN PER CONDITION 45 OF TRACT MAP #00956.
- (68) ALL DRAINAGE STRUCTURE DESIGNS MUST BE REVIEWED AND APPROVED BY THE DEPARTMENT OF PUBLIC WORKS PRIOR TO CONSTRUCTION.
- (69) PERMANENT DRAINAGE FACILITIES AND RIGHT-OF-WAY, INCLUDING ACCESS, SHALL BE PROVIDED FROM DEVELOPMENT TO POINT OF SATISFACTORY DISPOSAL.
- (70) THE MINIMUM FINISH FLOOR ELEVATION SHALL BE 12" ABOVE TOP OF FRONTING STREET CURB UNLESS PROPERTY IS BELOW STREET LEVEL AND/OR 6" ABOVE THE 100-YEAR FREQUENCY STORM EVENT OR STORM TRACK. A LOCAL ENGINEERING PRACTICE IS TO USE A 5' PRECIPITATION EVENT AS A STORM TRACK IN THE ABSENCE OF DETAILED FLOOD INFORMATION.
- (71) THE COUNTY IS IMPLEMENTING A STORM WATER QUALITY PROGRAM AS REQUIRED BY THE STATE WATER RESOURCES CONTROL BOARD WHICH MAY MODIFY OR ADD TO THE REQUIREMENTS AND GUIDELINES PRESENTED ELSEWHERE IN THIS DOCUMENT. THIS CAN INCLUDE ON-GOING MONITORING OF WATER QUALITY OF STORM DRAIN RUNOFF. IMPLEMENTATION OF BEST MANAGEMENT PRACTICES (BMP'S) TO REDUCE STORM WATER QUALITY IMPACTS DOWNSTREAM OR ALONG ADJACENT PROPERTIES.



MARK	DATE	REVISIONS	CITY	APPR.	DATE

BENCHMARK: NGS 080432 ELEVATION: 890.00 DATUM: NAVD83 + 1000 FEET
 DESCRIPTION: G5S BRASS DISK STAMPED "11224 - 1971" - LOCATED 3.05 MILES EAST ALONG HOLT INTER-URBAN RAILWAY FROM SOUTHERN PACIFIC STATION AT EL CENTRO. THENCE 4.25 MILES SOUTH ALONG STATE HIGHWAY 111, AT THE NORTHEAST CORNER OF UNCTION OF ABATTI ROAD, 87.5 FEET EAST OF THE CENTERLINE OF THE EAST LANES OF THE HIGHWAY, 26.5 FEET EAST OF THE CENTERLINE OF THE EAST FRONTAGE ROAD, 62 FEET NORTH OF THE CENTERLINE OF ABATTI ROAD. IN THE TOP AND 0.5 FEET SOUTH OF NORTH END OF THE EAST CONCRETE HEADWAY OF THE ARCH OVERLIFT UNDER THE FRONTAGE ROAD, ABOUT 100 FEET WEST OF THE CENTERLINE OF ABATTI ROAD.
BASE OF BEARINGS: THE BASES OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM (CCS83), ZONE VI, AS DETERMINED LOCALLY BY THE LINE BETWEEN CONTINUOUS OPERATING GPS BASE STATION STATIONS P498 AND P744, (EPOCH 2017.50) COORDINATES, AS COMPUTED AND PUBLISHED BY SCORPPS ORBIT AND PERMANENT ARRAY CENTER (SOPAC) AND THE CALIFORNIA SPATIAL REFERENCE CENTER (CSRC), BEING: NORTH 42-48-48.17 EAST.

ABBREVIATIONS:
 C/L CENTERLINE
 COR. CORNER
 E. EAST
 EG. EXISTING GROUND
 FL. FLOW LINE
 FS. FINISH SURFACE
 GPS. GLOBAL POS. SYSTEM
 HYD. FIRE HYDRANT
 IP. IRON PIPE
 MB. MAP BOOK
 MON. MONUMENT
 N. NORTH
 REF. REFERENCE
 R/W. RIGHT-OF-WAY
 RS. RECORD OF SURVEY
 PMB. PARCEL MAP BOOK
 S. SOUTH
 SEC. SECTION
 SDMH. STORM DRAIN MANHOLE
 SSMH. SAN. SEWER MANHOLE
 TC. TOP OF CURB
 TOOL. TOP OF COLUMN
 TW. TOP OF WALL
 VLV. VALVE
 W. WEST
 WM. WATER METER
 (XX.XX) EXISTING ELEVATION CALLOUT



EGAN CIVIL, INC.
 6339 PASO DEL LAGO
 (760) 404-7663 WWW.EGANCIVIL.COM
 PREPARED UNDER THE DIRECT SUPERVISION OF:
 BENJAMIN DANIEL EGAN, R.C.E. 73070 DATE: 08/05/2022

HEBER MEADOWS LAND HOLDINGS LLC
 6339 PASO DEL LAGO
 CARLSBAD, CA 92011
 CARE OF: DAVE DAVIS
 760-456-6000 EXT. 173

UNINCORPORATED TOWNSITE, COUNTY OF IMPERIAL, STATE OF CALIFORNIA
 ~MIRALUZ~
 HEBER, CA 92249
IMPROVEMENT PLANS
 NOTES SHEET
 CHELSEA DEVELOPMENT

SHEET
C1.0
 OF 6 SHEETS
 FILE NO. 20190367

STREET IMPROVEMENT PLAN - MIRALUZ -

LOT 1 OF TENTATIVE TRACT MAP 00922, BEING A PORTION OF LOT D OF HEBER MEADOWS TRACT 956 UNIT 1, AS SHOWN BY MAP FILED IN BOOK 23 OF MAPS, PAGE 39-43, RECORDS OF THE COUNTY OF IMPERIAL, STATE OF CALIFORNIA, SAID LANDS BEING LOCATED IN A PORTION OF SECTION 27, TOWNSHIP 16 SOUTH, RANGE 14 EAST, SAN BERNARDINO MERIDIAN.

MISCELLANEOUS CONDITIONS OF APPROVAL

- (72) PROVIDE PUBLIC UTILITY EASEMENTS FOR POWER FACILITIES ON THE PROJECT SITE. THESE PROPOSED EASEMENTS SHALL BE APPROVED BY THE IID PRIOR TO MAP RECORDING. A LETTER OF APPROVAL MUST BE PROVIDED BY THE IID.
- (73) THE DEVELOPER SHALL PROVIDE ENGINEERED AND DETAILED PLANS OF WATER AND SEWER LINE SYSTEMS FOR REVIEW AND APPROVAL BY THE HEBER PUBLIC UTILITY DISTRICT AND THE IMPERIAL COUNTY DEPARTMENT OF PUBLIC WORKS, AND OTHER APPROPRIATE AGENCIES. ALL NECESSARY WATER, SEWER AND FIRE FLOW CALCULATION SHALL BE PROVIDED TO BOTH HEBER PUBLIC UTILITY DISTRICT (HPUD) AND THE COUNTY. THIS INCLUDES A COPY OF THE HPUD WATER AND SEWER MASTER PLANS.
- (74) THE DEVELOPER SHALL CONSTRUCT WATER AND SEWER LINES TO GRADE, LOCATION DESIGN AND SIZE, AS APPROVED BY THE HEBER PUBLIC UTILITY DISTRICT AND IMPERIAL COUNTY DEPARTMENT OF PUBLIC WORKS.
- (75) WATER AND SEWER LINES INSIDE AND OUTSIDE THE SUBDIVISION BOUNDARY MUST BE WITHIN DEDICATED EASEMENTS OR IN PUBLIC ROADS.
- ALL SUBSEQUENT MAP PHASES SHALL BE REVIEWED BY THE DIRECTOR OF PUBLIC WORKS FOR CHANGES IN STATE LAW AND/OR DESIGN STANDARDS THAT ARE APPLICABLE.
- (76) PRIOR TO RECORDATION OF TRACT MAP #00922, THE DEVELOPER SHALL PROVIDE A COPY OF THE MOST CURRENT SERVICE CAPACITY STUDY/PLAN AS PREPARED BY A CALIFORNIA REGISTERED ENGINEER FOR HPUD. THE ANALYSIS, SHALL AT A MINIMUM, IDENTIFY THE FACILITY CAPACITY TO MEET ITS EXISTING NEEDS, THE ALREADY APPROVED PROJECTS WITHIN THE HEBER PUBLIC UTILITIES DISTRICT SERVICE AREA AND THIS PROJECT.
- (77) PROVIDE HYDRAULIC CALCULATIONS FOR ALL WATERLINES TO COUNTY DEPARTMENT OF PUBLIC WORKS AND HEBER PUBLIC UTILITIES DISTRICT FOR REVIEW AND APPROVAL.
- (78) THE PRIMARY WATER LINES SERVING THE TRACT MAP ARE REQUIRED TO BE LOOPED PRIOR TO CONSTRUCTION OR AT SUCH TIME THAT THE REGISTERED CIVIL ENGINEER CALCULATED FLOW RATES WARRANT. THE FIRE/OES DEPARTMENT'S MAXIMUM FLOW RATE FOR MULTI-FAMILY DWELLINGS AND ALL NEW UTILITIES SERVING THE TRACT MAP SHALL BE UNDER-GROUNDED AS REQUIRED.
- (79) THE DEVELOPER SHALL PROVIDE TO THE FIRE/OFFICE OF EMERGENCY SERVICES AND THE DEPARTMENT OF PUBLIC WORKS HYDRAULIC CALCULATIONS FOR FIRE FLOW. THE CALCULATIONS SHALL ANALYZE FOR THE LONGEST SEGMENT OF LINES THAT ARE LOOPED OR FOR THE FURTHEST HYDRANT IN THE PROJECT.
- (80) THE DEVELOPER SHALL INSTALL FENCING AS PROPOSED AROUND THE ENTIRE SUBDIVISION ANY NEW DETENTION BASINS.
- (81) THE DEVELOPER SHALL BE RESPONSIBLE FOR PARTICIPATE IN, AND COMMIT NECESSARY RESOURCES TO ASSURE THAT ALL INFRASTRUCTURE(S) NECESSARY IS INSTALLED IN THE SEQUENCE AND AT THE TIME REQUIRED IN ORDER TO IMPLEMENT THE TRACT MAP.
- (82) WATER/SEWER SERVICE TO THE PROJECT SHALL BE SECURED FROM HPUD. THE COUNTY SHALL NOT APPROVE/RECORD ANY PHASE OF THIS DEVELOPMENT FOR ACTUAL CONSTRUCTION UNTIL THE HPUD PROVIDES (THROUGH ITS LICENSED ENGINEER) CERTIFICATION THAT CAPACITY FOR SAID PHASE IS AVAILABLE AND COMMITTED, E.G. LOT D OF TRACT MAP #00956 CANNOT BE DEVELOPED FOR FUTURE RESIDENTIAL DEVELOPMENT UNLESS AND UNTIL THE HPUD PROVIDES THROUGH ITS LICENSED ENGINEER THE APPROPRIATE CERTIFICATION THAT THESE SERVICES ARE AVAILABLE. DEVELOPER IN ACCEPTING THIS APPROVED MAP FOR THE DEVELOPMENT OF THE 320 MULTI-FAMILY DWELLINGS WITH ALL ITS CONDITIONS AGREES AND IS REQUIRED TO SIGN AN AGREEMENT WITH COUNTY THAT DEVELOPER SHALL HOLD THE COUNTY HARMLESS FOR ANY AND ALL LITIGATION, DAMAGES, CLAIMS THAT MAY RESULT IF SERVICES ARE NOT AVAILABLE AND PROJECT CANNOT BE DEVELOPED, EVEN IF PROJECT STARTS BUT IS NOT ALLOWED TO BE COMPLETED.
- CALTRANS, DISTRICT 11, TRANSPORTATION CONDITIONS:*****
- (83) THE DEVELOPER SHALL PROVIDE A BOND OR OTHER SURETY TO PAY FOR THE INTERSECTION TRAFFIC SIGNALS AT STATE ROUTE 86 AND PITZER ROAD WHEN TRAFFIC WARRANTS ARE MET.
- (84) ANY WORK PERFORMED WITHIN THE CALTRANS RIGHT-OF-WAY SHALL REQUIRE AN ENCROACHMENT PERMIT. FOR THOSE PORTIONS OF THE PROJECT WITHIN THE RIGHT-OF-WAY THE PERMIT APPLICATION MUST BE STATED IN BOTH METRIC AND ENGLISH UNITS (METRIC FIRST, WITH ENGLISH IN PARENTHESSES). (IF WORK IS ANTICIPATED IN THE RIGHT-OF-WAY, THE DEVELOPER'S ENVIRONMENTAL DOCUMENT MUST INCLUDE SUCH WORK IN THEIR PROJECT DESCRIPTION AND INDICATE THAT AN ENCROACHMENT PERMIT WILL BE NEEDED). INFORMATION REGARDING ENCROACHMENT PERMITS MAY BE OBTAINED BY CONTACTING OUR PERMITS OFFICE AT 619- 688-6158. EARLY COORDINATION WITH OUR AGENCY IS STRONGLY ADVISED FOR ALL ENCROACHMENT PERMITS.
- (85) AS PART OF THE ENCROACHMENT PERMIT PROCESS, THE DEVELOPER SHALL PROVIDE APPROPRIATE ENVIRONMENTAL APPROVAL (CEQA) FOR POTENTIAL ENVIRONMENTAL IMPACTS TO THE DEPARTMENT RIGHT-OF-WAY. THE DEVELOPER IS RESPONSIBLE FOR QUANTIFYING THE ENVIRONMENTAL IMPACTS OF THE IMPROVEMENTS (PROJECT LEVEL ANALYSIS) AND COMPLETING ALL APPROPRIATE MITIGATION MEASURES FOR THE IMPACTS. THE DEVELOPER SHALL ALSO BE RESPONSIBLE FOR PRODUCING ANY NECESSARY PERMITS OR APPROVALS FROM THE REGULATORY AND RESOURCE AGENCIES FOR THE IMPROVEMENTS.
- (86) ANY WORK PERFORMED WITHIN CALTRANS' R/W WILL REQUIRE DISCRETIONARY REVIEW AND APPROVAL BY CALTRANS AND AN ENCROACHMENT PERMIT WILL BE REQUIRED FOR ANY WORK WITHIN CALTRANS' R/W PRIOR TO CONSTRUCTION. AS PART OF THE ENCROACHMENT PERMIT PROCESS, THE DEVELOPER MUST PROVIDE AN APPROVED FINAL ENVIRONMENTAL DOCUMENT INCLUDING THE CEQA DETERMINATION ADDRESSING ANY ENVIRONMENTAL IMPACTS WITH THE CALTRANS' R/W, AND ANY CORRESPONDING TECHNICAL STUDIES.

AIR POLLUTION CONTROL DISTRICT CONDITIONS:*

- (87) AQ-1A: PRIOR TO COMMENCING CONSTRUCTION, THE PROJECT DEVELOPER WILL BE REQUIRED TO SUBMIT A DUST CONTROL PLAN TO THE ICAPOD FOR APPROVAL. THE DUST CONTROL PLAN WILL IDENTIFY ALL SOURCES OF PM10 EMISSIONS AND ASSOCIATED MITIGATION MEASURES DURING THE CONSTRUCTION AND OPERATIONAL PHASES (SEE RULE 801 F.2). THE DEVELOPER SHALL SUBMIT A "CONSTRUCTION NOTIFICATION FORM" TO THE ICAPOD 10 DAYS PRIOR TO THE COMMENCEMENT OF ANY EARTHMOVING ACTIVITY. THE DUST CONTROL PLAN SUBMITTED TO THE ICAPOD SHALL MEET ALL APPLICABLE REQUIREMENTS FOR CONTROL OF FUGITIVE DUST EMISSIONS, INCLUDING THE FOLLOWING MEASURES DESIGNED TO ACHIEVE THE NO GREATER THAN 20-PERCENT OPACITY PERFORMANCE STANDARD FOR DUST CONTROL AND ADDRESS THE FOLLOWING PARAMETERS:
- a. ALL DISTURBED AREAS, INCLUDING BULK MATERIAL STORAGE THAT IS NOT BEING ACTIVELY USED, SHALL BE EFFECTIVELY STABILIZED; AND VISIBLE EMISSIONS SHALL BE LIMITED TO NO GREATER THAN 20-PERCENT OPACITY FOR DUST EMISSIONS BY USING WATER, CHEMICAL STABILIZERS, DUST SUPPRESSANTS, TARPS OR OTHER SUITABLE MATERIAL, SUCH AS VEGETATIVE GROUND COVER. BULK MATERIAL IS DEFINED AS EARTH, ROCK, SILT, SEDIMENT, AND OTHER ORGANIC AND/OR INORGANIC MATERIAL CONSISTING OF OR CONTAINING PARTICULATE MATTER WITH 5 PERCENT OR GREATER SILT CONTENT. FOR MODELING PURPOSES, IT WAS ASSUMED THAT WATERING WOULD OCCUR TWICE DAILY.
 - b. ALL ON-SITE UNPAVED ROADS SEGMENTS OR AREAS USED FOR HAULING MATERIALS SHALL BE EFFECTIVELY STABILIZED. VISIBLE EMISSIONS SHALL BE LIMITED TO NO GREATER THAN 20 PERCENT OPACITY FOR DUST EMISSIONS BY RESTRICTING VEHICLE ACCESS, PAVING, APPLICATION OF CHEMICAL STABILIZERS, DUST SUPPRESSANTS AND/OR WATERING.
 - c. THE TRANSPORT OF BULK MATERIALS ON PUBLIC ROADS SHALL BE COMPLETELY COVERED, UNLESS 6 INCHES OF FREEBOARD SPACE FROM THE TOP OF THE CONTAINER IS MAINTAINED WITH NO SPILLAGE AND LOSS OF BULK MATERIAL. IN ADDITION, THE CARGO COMPARTMENT OF ALL HAIL TRUCKS SHALL BE CLEANED AND/OR WASHED AT THE DELIVERY SITE AFTER REMOVAL OF BULK MATERIAL, PRIOR TO USING THE TRUCKS TO HAUL MATERIAL ON PUBLIC ROADWAYS.
 - d. ALL TRACK-OUT OR CARRY-OUT ON PAVED PUBLIC ROADS, WHICH INCLUDES BULK MATERIALS THAT ADHERE TO THE EXTERIOR SURFACES OF MOTOR VEHICLES AND/OR EQUIPMENT (INCLUDING TIRES) THAT MAY THEN FALL ONTO THE PAVEMENT, SHALL BE CLEANED AT THE END OF EACH WORKDAY OR IMMEDIATELY WHEN MUD OR DIRT EXTENDS A CUMULATIVE DISTANCE OF 50 LINEAR FEET OR MORE ONTO A PAVED ROAD WITHIN AN URBAN AREA SHELTERING OR ENLOSING THE OPERATION AND TRANSFER LINE EXCEPT WHERE SUCH MATERIAL OR ACTIVITY IS EXEMPTED FROM STABILIZATION BY THE RULES OF ICAPOD.
- (88) AQ-1B: EACH PROJECT PROPONENT SHALL IMPLEMENT ALL APPLICABLE STANDARD MEASURES FOR CONSTRUCTION COMBUSTION EQUIPMENT FOR THE REDUCTION OF EXCESS NOX EMISSIONS AS CONTAINED IN THE IMPERIAL COUNTY CEQA AIR QUALITY HANDBOOK AND ASSOCIATED REGULATIONS. THESE MEASURES INCLUDE:
- USE ALTERNATIVE-FUELED OR CATALYST-EQUIPPED DIESEL CONSTRUCTION EQUIPMENT, INCLUDING ALL OFF-ROAD AND PORTABLE DIESEL-POWERED EQUIPMENT.
 - MINIMIZE IDLING TIME, EITHER BY SHUTTING EQUIPMENT OFF WHEN NOT IN USE OR REDUCING THE TIME OF IDLING TO FIVE MINUTES AT A MAXIMUM.
 - LIMIT THE HOURS OF OPERATION OF HEAVY-DUTY EQUIPMENT AND/OR THE AMOUNT OF EQUIPMENT IN USE. REPLACE FOSSIL-FUELED EQUIPMENT WITH ELECTRICALLY DRIVEN EQUIVALENTS (ASSUMING POWERED BY A PORTABLE GENERATOR SET AND ARE AVAILABLE, COST EFFECTIVE, AND CAPABLE OF PERFORMING THE TASK IN AN EFFECTIVE, TIMELY MANNER).
 - CURTAIL CONSTRUCTION DURING PERIODS OF HIGH AMBIENT POLLUTANT CONCENTRATIONS; THIS MAY INCLUDE CEASING CONSTRUCTION ACTIVITY DURING THE PEAK HOUR OF VEHICULAR TRAFFIC ON ADJACENT ROADWAYS.
 - IMPLEMENT ACTIVITY MANAGEMENT (E.G., RESCHEDULING ACTIVITIES TO AVOID OVERLAP OF CONSTRUCTION PHASES, WHICH WOULD REDUCE SHORT-TERM IMPACTS).

IMPERIAL IRRIGATION DISTRICT:†

- (89) TO INITIATE THE PROCESS TO OBTAIN ELECTRIC SERVICE FOR PHASE 1 OF THE PROJECT (60 APARTMENT UNITS), THE DEVELOPER WILL BE REQUIRED TO SUBMIT A COMPLETE SET OF APPROVED PLANS, INCLUDING ANY PHOTO-VOLTAIC INSTALLATION DRAWINGS FOR THE PV COMPONENT OF THE PROJECT, (HARD COPY AND CAD FILES); PROJECT SCHEDULE, ESTIMATED IN-SERVICE DATE, ELECTRICAL LOADS, PANEL SIZE, PANEL LOCATIONS, VOLTAGES, ACCESSIBILITY TO OPERATE AND MAINTAIN IID EQUIPMENT, AND THE APPLICABLE FEES, PERMITS, EASEMENTS AND ENVIRONMENTAL COMPLIANCE DOCUMENTATION PERTAINING TO THE PROVISION OF ELECTRICAL SERVICE TO THE PROJECT. THE DEVELOPER SHALL BE RESPONSIBLE FOR ALL COSTS AND MITIGATION MEASURES RELATED TO PROVIDING ELECTRICAL SERVICE TO THE PROJECT.
- (90) DUE TO LIMITED ELECTRICAL CAPACITY IN THE AREA, A CIRCUIT STUDY MAY BE REQUIRED. ANY IMPROVEMENTS IDENTIFIED IN THE CIRCUIT STUDY TO ALLOW ELECTRICAL SERVICE TO THE DEVELOPMENT PROJECT SHALL BE THE FINANCIAL RESPONSIBILITY OF THE DEVELOPER.
- (91) ANY CONSTRUCTION OR OPERATION ON IID PROPERTY OR WITHIN ITS EXISTING AND PROPOSED RIGHT OF WAY OR EASEMENTS INCLUDING BUT NOT LIMITED TO: SURFACE IMPROVEMENTS SUCH AS PROPOSED NEW STREETS, DRIVEWAYS, PARKING LOTS, LANDSCAPE; AND ALL WATER, SEWER, STORM WATER, OR ANY OTHER ABOVE GROUND OR UNDERGROUND UTILITIES; WILL REQUIRE AN ENCROACHMENT PERMIT, OR ENCROACHMENT AGREEMENT (DEPENDING ON THE CIRCUMSTANCES).

- (92) IN ADDITION TO IID'S RECORDED EASEMENTS, IID CLAIMS, AT A MINIMUM, A PRESCRIPTIVE RIGHT OF WAY TO THE TOE OF SLOPE OF ALL EXISTING CANALS AND DRAINS, WHERE SPACE IS LIMITED AND DEPENDING UPON THE SPECIFICS OF ADJACENT MODIFICATIONS, THE IID MAY CLAIM ADDITIONAL SECONDARY EASEMENTS/PRESCRIPTIVE RIGHTS OF WAYS TO ENSURE OPERATION AND MAINTENANCE OF IID'S FACILITIES CAN BE MAINTAINED AND ARE NOT IMPACTED AND IF IMPACTED MITIGATED. THUS, IID SHOULD BE CONSULTED PRIOR TO THE INSTALLATION OF ANY FACILITIES ADJACENT TO IID'S FACILITIES. CERTAIN CONDITIONS MAY BE PLACED ON ADJACENT FACILITIES TO MITIGATE OR AVOID IMPACTS TO IID'S FACILITIES.

- (93) ANY NEW, RELOCATED, MODIFIED OR RECONSTRUCTED IID FACILITIES REQUIRED FOR AND BY THE PROJECT (WHICH CAN INCLUDE BUT IS NOT LIMITED TO ELECTRICAL UTILITY SUBSTATIONS, ELECTRICAL TRANSMISSION AND DISTRIBUTION LINES, WATER DELIVERIES, CANALS, DRAINS, ETC.) NEED TO BE INCLUDED AS PART OF THE PROJECT'S CEQA AND/OR NEPA DOCUMENTATION, ENVIRONMENTAL IMPACT ANALYSIS AND MITIGATION. FAILURE TO DO SO WILL RESULT IN POSTPONEMENT OF ANY CONSTRUCTION AND/OR MODIFICATION OF IID FACILITIES UNTIL SUCH TIME AS THE ENVIRONMENTAL DOCUMENTATION IS AMENDED AND ENVIRONMENTAL IMPACTS ARE FULLY ANALYZED. ANY AND ALL MITIGATION NECESSARY AS A RESULT OF THE CONSTRUCTION, RELOCATION AND/OR UPGRADE OF IID FACILITIES IS THE RESPONSIBILITY OF THE PROJECT DEVELOPER. IID ENERGY FACILITIES THAT WILL BE IMPACTED INCLUDE:

- a. HL 1 92KV AND THE P 92KV TRANSMISSION LINES.
- b. T-323 AND T-324 7.2/12.5KV DISTRIBUTION CIRCUITS (IMPACTED BY IMPROVEMENTS ALONG SR-86 & PITZER ROAD).
- c. T-322 7.2/12.5KV DISTRIBUTION CIRCUIT (IMPACTED BY THE MULTI-FAMILY HOUSING PROJECT).

- (94) IID WATER FACILITIES THAT MAY BE IMPACTED INCLUDE THE CENTRAL DRAIN NO. 3D NO. 1 AND THE CENTRAL DRAIN NO. 3D. THE CENTRAL DRAIN NO. 3D NO. 1 IS LOCATED ALONG THE PARCEL'S NORTHERN BOUNDARY. THE CENTRAL DRAIN NO 3D IS LOCATED ALONG THE PARCEL'S EASTERN BOUNDARY.

- (95) THE DEVELOPER MAY NOT USE IID'S CANAL OR DRAIN BANKS TO ACCESS THE PROJECT SITE. ANY ABANDONMENT OF EASEMENTS OR FACILITIES WILL BE APPROVED BY IID BASED ON SYSTEMS (IRRIGATION, DRAINAGE, POWER, ETC.) NEEDS.

- (96) FOR SAFETY PURPOSES AND TO ALLOW ACCESS FOR IID OPERATION AND MAINTENANCE ACTIVITIES, FENCING SHOULD BE INSTALLED AT THE BOUNDARY OF IID'S RIGHT OF WAY. THE PROJECT'S FENCING PLAN SHOULD CONSIDER IID'S RIGHT-OF-WAY.

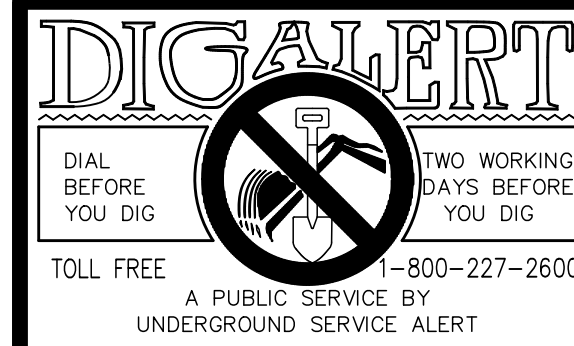
- (97) TO INSURE THERE ARE NO IMPACTS TO IID'S CENTRAL DRAIN NO. 3D NO. 1 OR CENTRAL DRAIN NO 3D, THE PROJECT'S DESIGN AND FENCING PLANS ARE TO BE SUBMITTED TO IID WATER DEPARTMENT ENGINEERING SERVICES SECTION PRIOR TO FINALIZATION FOR REVIEW.

- (98) SHOULD THE PROPOSED PROJECT REQUIRE SITE ACCESS FROM CORRELL ROAD OR PITZER ROAD, AN IID CROSSING AND ENCROACHMENT PERMIT WILL BE REQUIRED. WHEN NEW CROSSINGS OR MODIFICATIONS TO EXISTING CROSSINGS ARE NEEDED, THE DEVELOPER WILL BE RESPONSIBLE FOR THE COST OF THESE IMPROVEMENTS AND IID WILL DESIGN AND CONSTRUCT THEM.

- (99) THE DEVELOPER WILL BE REQUIRED TO CONTACT THE IID REAL ESTATE SECTION AND REQUEST ENCROACHMENT PERMITS FOR THE IID FACILITIES BEING IMPACTED AND PROVIDE APPROVED IMPROVEMENT PLANS, PROFILE DRAWINGS OF THE PROJECT, INCLUDING THE SR-86 AND PITZER ROAD IMPROVEMENTS AND SIGNALIZATION WORK FOR REVIEW AND COMMENT.

HEBER PUBLIC UTILITY DISTRICT:*

- (100) DEVELOPER SHALL SATISFY HPUD'S REQUIREMENTS PER LETTER DATED NOVEMBER 03, 2021 FOR THE PROJECT'S DOMESTIC WATER, SANITARY SEWER, AND STORMWATER DRAINAGE SERVICE SYSTEM REQUIREMENTS PRIOR TO RECORDATION OF THE TRACT MAP.



ENGINEER	MARK	DATE	REVISIONS	CITY	APPR.	DATE

BENCHMARK: NGS 080432 ELEVATION: 990.00 DATUM: NAVD83 + 1000 FEET
 DESCRIPTION: GSS BRASS DISK STAMPED "1 1224 - 1971" - LOCATED 3.05 MILES EAST ALONG HOLTON INTER-URBAN RAILWAY FROM SOUTHERN PACIFIC STATION AT EL CENTRO, THENCE 4.25 MILES SOUTH ALONG STATE HIGHWAY 111, AT THE NORTHEAST CORNER OF JUNCTION OF ABATTI ROAD, 87.5 FEET EAST OF THE CENTERLINE OF THE EAST LANES OF THE HIGHWAY, 26.5 FEET EAST OF THE CENTERLINE OF THE EAST FRONTAGE ROAD, 62 FEET NORTH OF THE CENTERLINE OF ABATTI ROAD. IN THE TOP AND 0.5 FEET SOUTH OF NORTH END OF THE EAST CONCRETE HEADWAY OF THE ARCH CULVERT UNDER THE FRONTAGE ROAD, ABOUT 1.5 FEET WITH THE FRONTAGE ROAD. (LOCATED IN SEC 23, T 16 S, R 14 E, SAN BERNARDINO MERIDIAN.)
BASE OF BEARINGS: THE BASES OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM (CCS83), ZONE VI, AS DETERMINED LOCALLY BY THE LINE BETWEEN CONTINUOUS OPERATING GPS BASE STATION STATIONS P498 AND P744, (EPOCH 2017.50) COORDINATES, AS COMPUTED AND PUBLISHED BY SCRIPPS ORBIT AND PERMANENT ARRAY CENTER (SOPAC) AND THE CALIFORNIA SPATIAL REFERENCE CENTER (SIRC), BEING: NORTH 42-48-48.17 EAST.

ABBREVIATIONS:

IP	IRON PIPE	SDMH	STORM DRAIN MANHOLE
MB	MAP BOOK	SSMH	SAN. SEWER MANHOLE
C/L	CENTERLINE	MON.	TOP OF CURB
COOR.	CORNER	N	TOP OF COLUMN
E	EAST	REF.	TW TOP OF WALL
EG	EXISTING GROUND	R/W	VALVE
FL	FLOW LINE	RS	RECORD OF SURVEY
FS	FINISH SURFACE	PMB	PARCEL MAP BOOK
GPS	GLOBAL POS. SYSTEM	S	SOUTH
HYD.	FIRE HYDRANT	SEC.	SECTION



EGAN CIVIL, INC.

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 (760) 404-7663 WWW.EGANCIVIL.COM

PREPARED UNDER THE DIRECT SUPERVISION OF:

08/05/2022

BENJAMIN DANIEL EGAN, R.C.E. 73070 DATE

UNINCORPORATED TOWNSHIP, COUNTY OF IMPERIAL, STATE OF CALIFORNIA

~MIRALUZ~
 HEBER, CA 92249
IMPROVEMENT PLANS

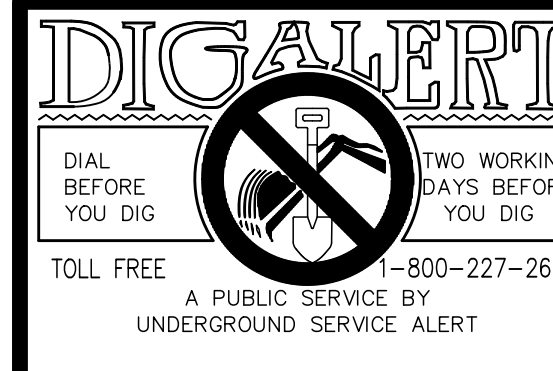
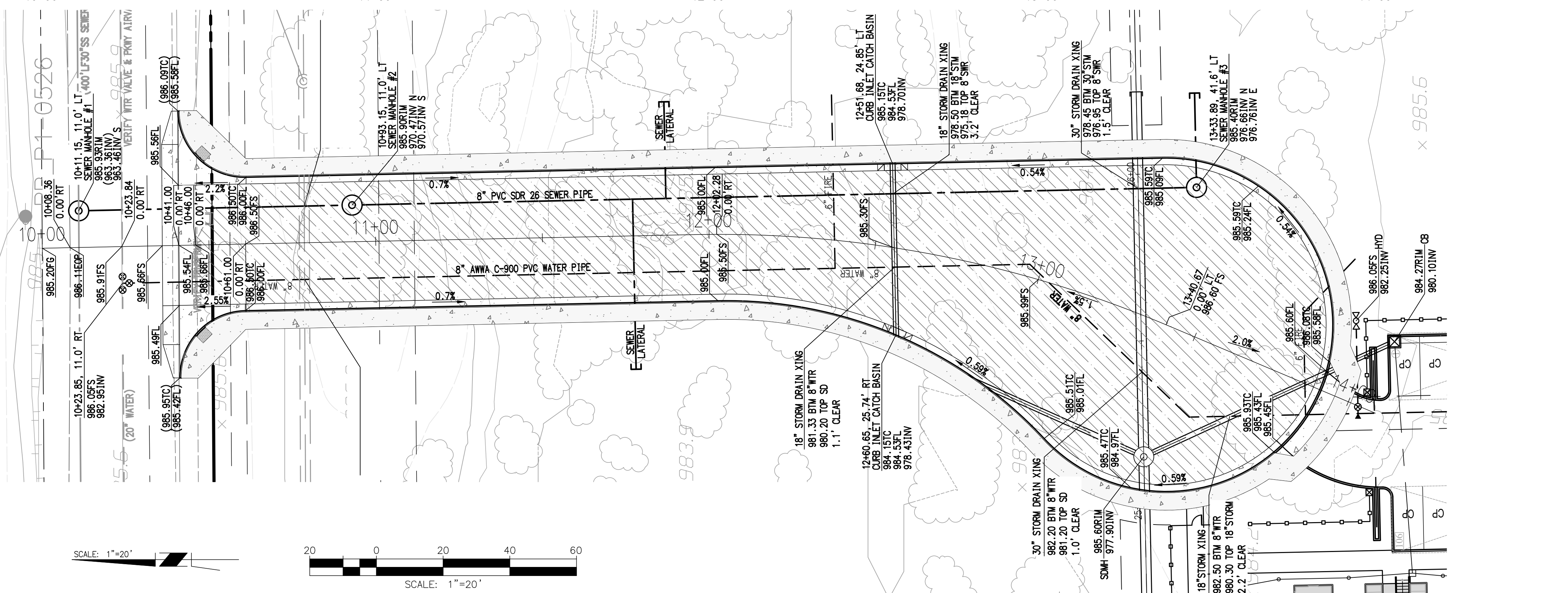
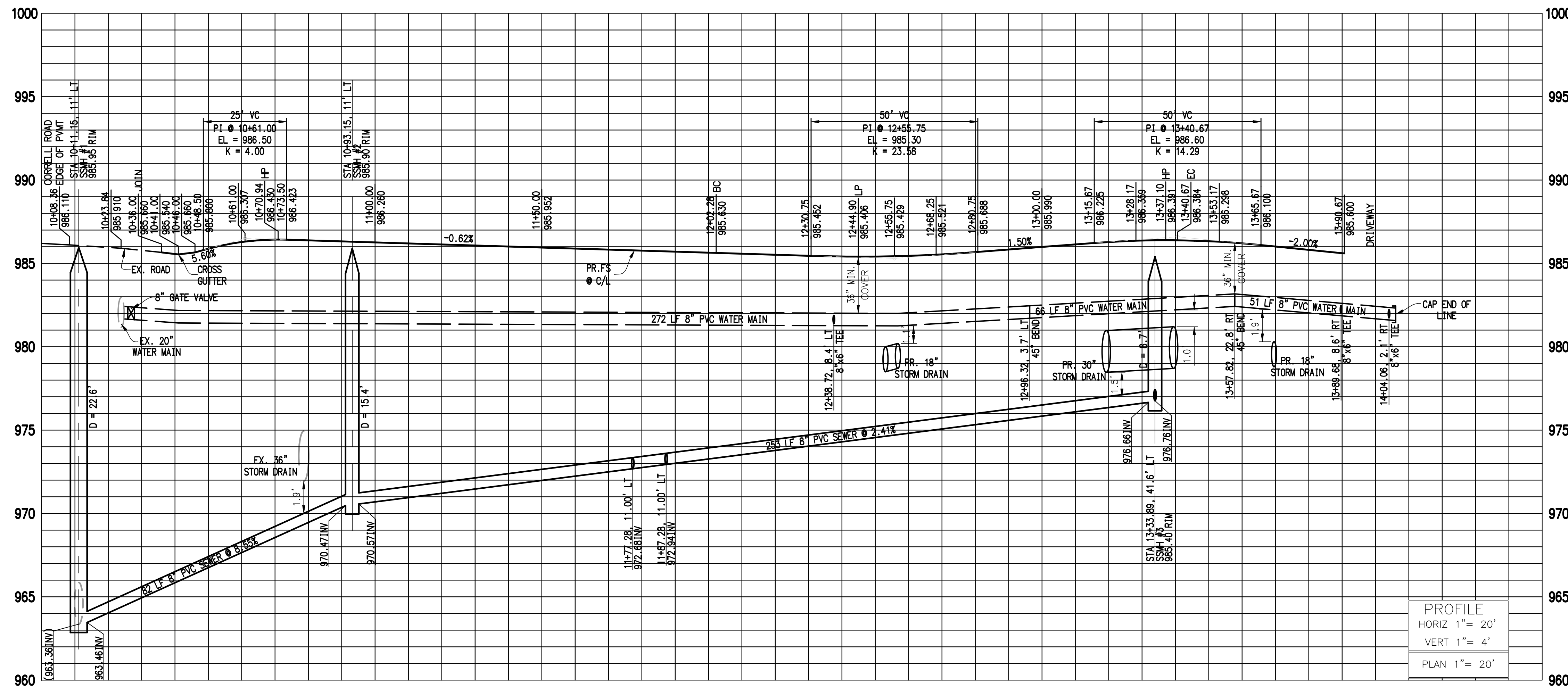
HEBER MEADOWS LAND HOLDINGS LLC
 6339 PASEO DEL LAGO
 CARLSBAD, CA 92011
 CARE OF: DAVE DAVIS
 760-456-6000 EXT. 173

NOTES SHEET
 CHELSEA DEVELOPMENT

SHEET
C1.1
 OF 6 SHEETS
 FILE NO. 20190367

STREET IMPROVEMENT PLAN - MIRALUZ -

TENTATIVE TRACT MAP 00922, BEING A PORTION OF LOT D OF HEBER MEADOWS TRACT 956 UNIT 1,
AS SHOWN BY MAP FILED IN BOOK 23 OF MAPS, PAGE 39-43, RECORDS OF THE COUNTY OF IMPERIAL, STATE OF CALIFORNIA,
SAID LANDS BEING LOCATED IN A PORTION OF SECTION 27, TOWNSHIP 16 SOUTH, RANGE 14 EAST, SAN BERNARDINO MERIDIAN,



MARK	ENGINEER	DATE	REVISIONS	CITY	APPR.	DATE

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MB	MAP BOOK	SSMH	SAN. SEWER MANHOLE
MON.	MONUMENT	TC	TOP OF CURB
N	NORTH	TCOL	TOP OF COLUMN
REF.	REFERENCE	TW	TOP OF WALL
R/W	RIGHT-OF-WAY	VLV.	VALVE
RS	RECORD OF SURVEY	W	WEST
PMB	PARCEL MAP BOOK	WM	WATER METER
S	SOUTH	(XX.XX)	EXISTING ELEVATION CALLOUT
SEC.	SECTION		



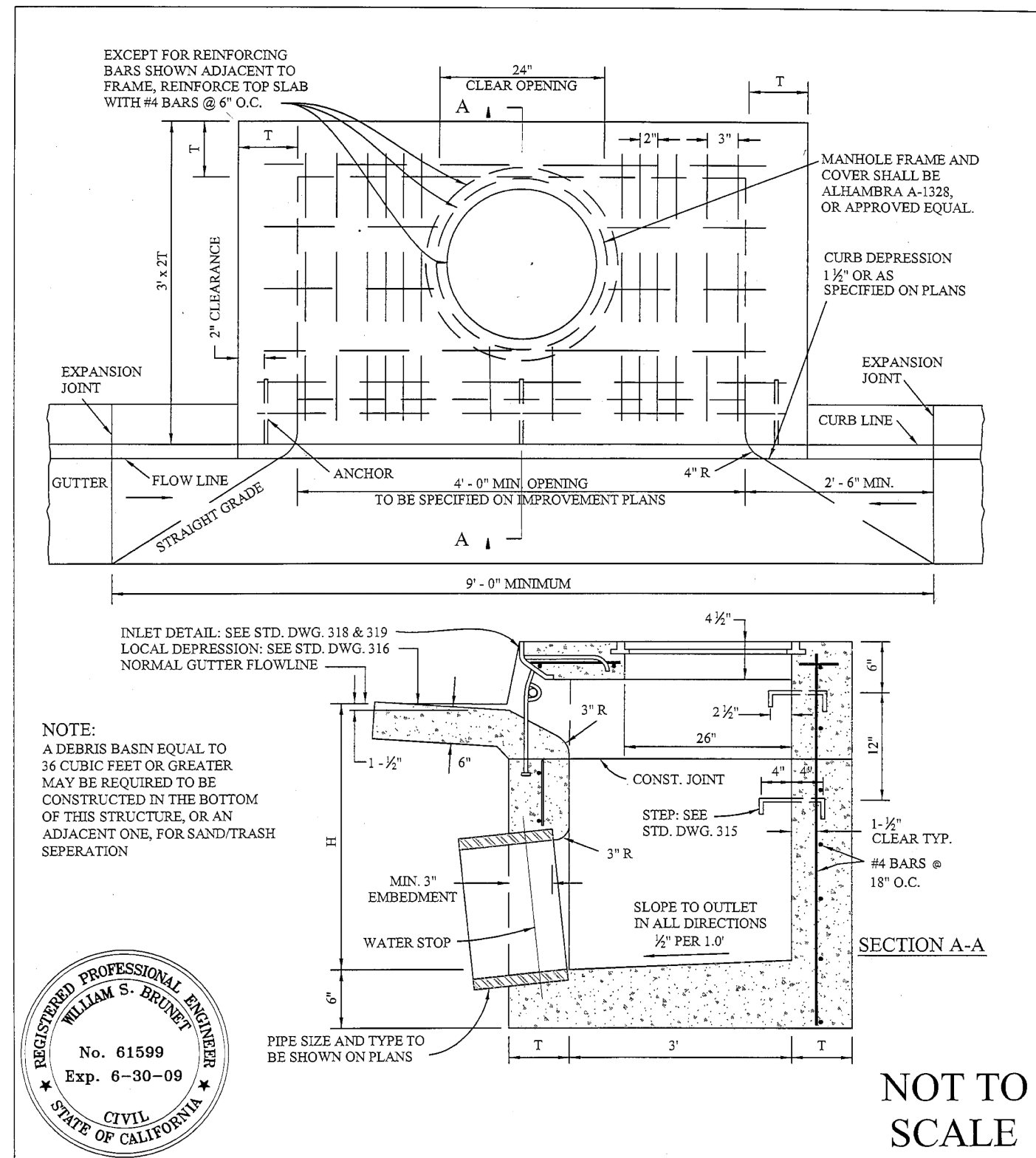
EGAN CIVIL, INC.
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BENJAMIN DANIEL EGAN, R.C.E. 73070 DATE: 08/05/2022

HEBER MEADOWS LAND HOLDINGS LLC
6339 PASEO DEL LA GO
CARLSBAD, CA 92011
CARE OF: DAVE DAVIS
760-456-6000 EXT. 173

UNINCORPORATED TOWNSITE, COUNTY OF IMPERIAL, STATE OF CALIFORNIA
~MIRALUZ~
HEBER, CA 92249
IMPROVEMENT PLANS
CORRELL COURT
STA. 10+00 TO STA. 14+00
FOR: CHELSEA DEVELOPMENT

SHEET
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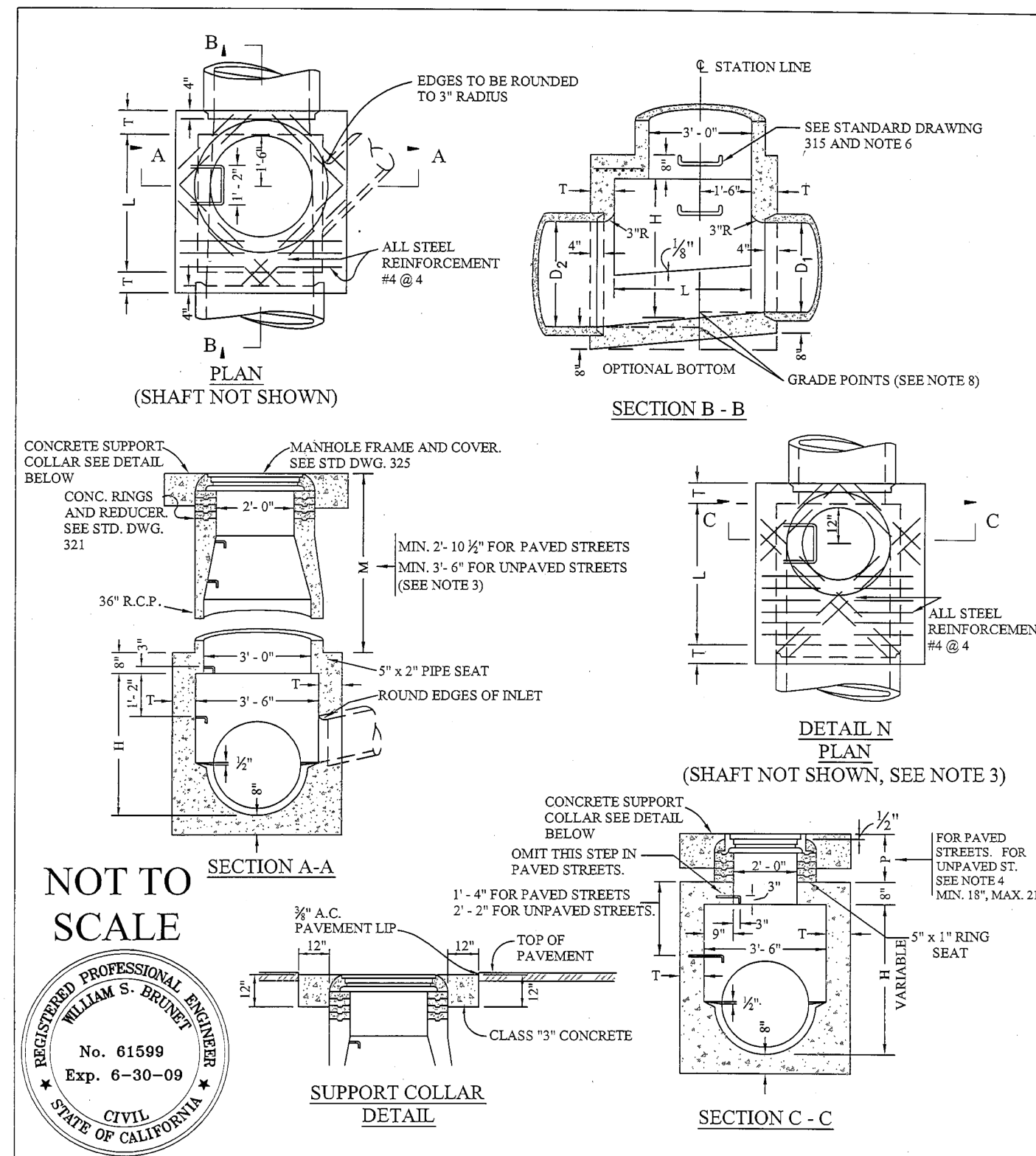


COUNTY of IMPERIAL
DEPARTMENT of PUBLIC WORKS
EL CENTRO, CALIFORNIA

CURB INLET CATCH BASIN

APPROVED BY: *William S. Brunet* DATE: 11/6/08
WILLIAM S. BRUNET, P.E. DIRECTOR of PUBLIC WORKS

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			E.M.	312

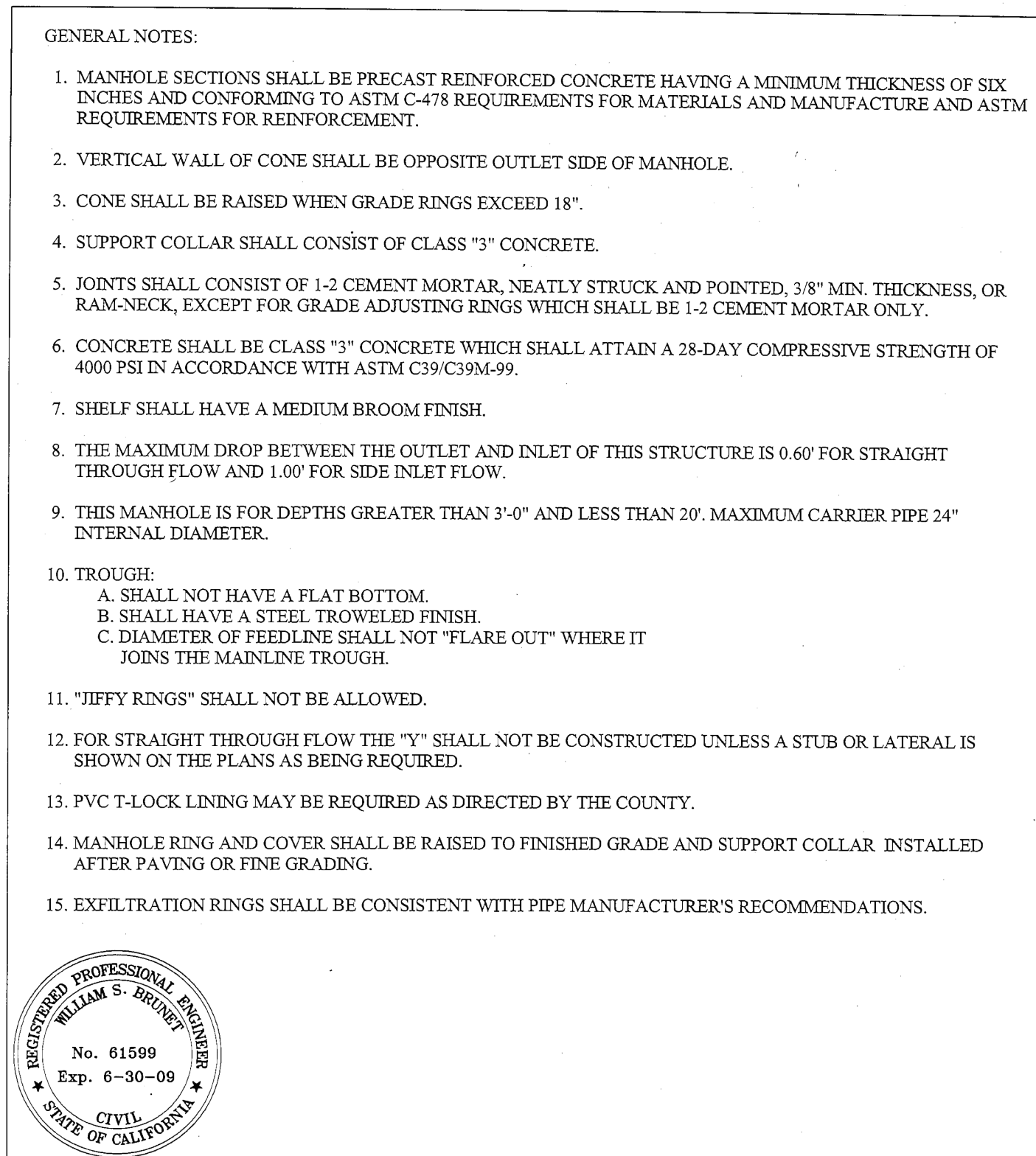


COUNTY of IMPERIAL
DEPARTMENT of PUBLIC WORKS
EL CENTRO, CALIFORNIA

STORM DRAIN MANHOLE NO.1

APPROVED BY: *William S. Brunet* DATE: 11/6/08
WILLIAM S. BRUNET, P.E. DIRECTOR of PUBLIC WORKS

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			E.M.	322

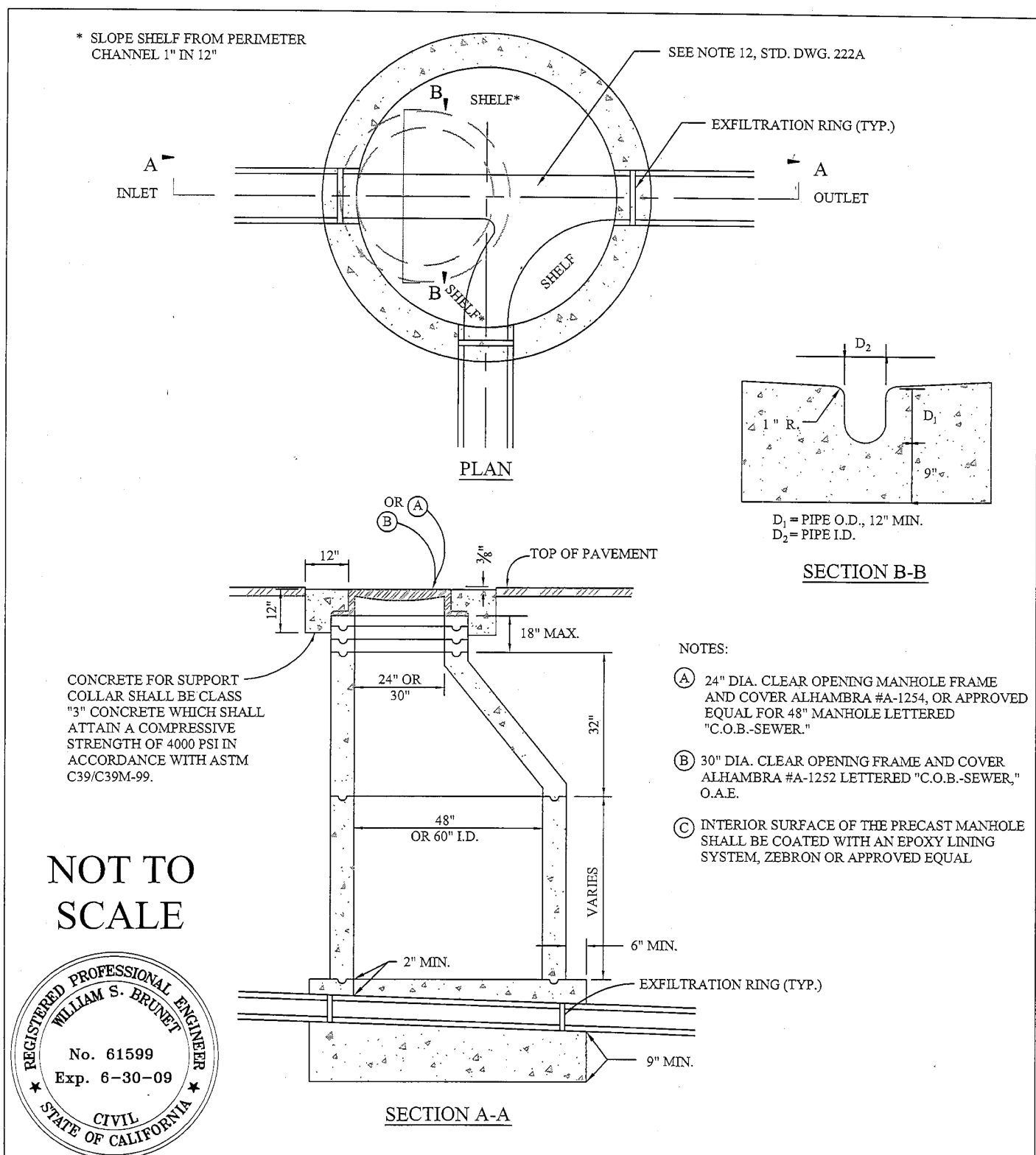


COUNTY of IMPERIAL
DEPARTMENT of PUBLIC WORKS
EL CENTRO, CALIFORNIA

PRECAST MANHOLE DETAIL

APPROVED BY: *William S. Brunet* DATE: 11/6/08
WILLIAM S. BRUNET, P.E. DIRECTOR of PUBLIC WORKS

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			E.M.	222A

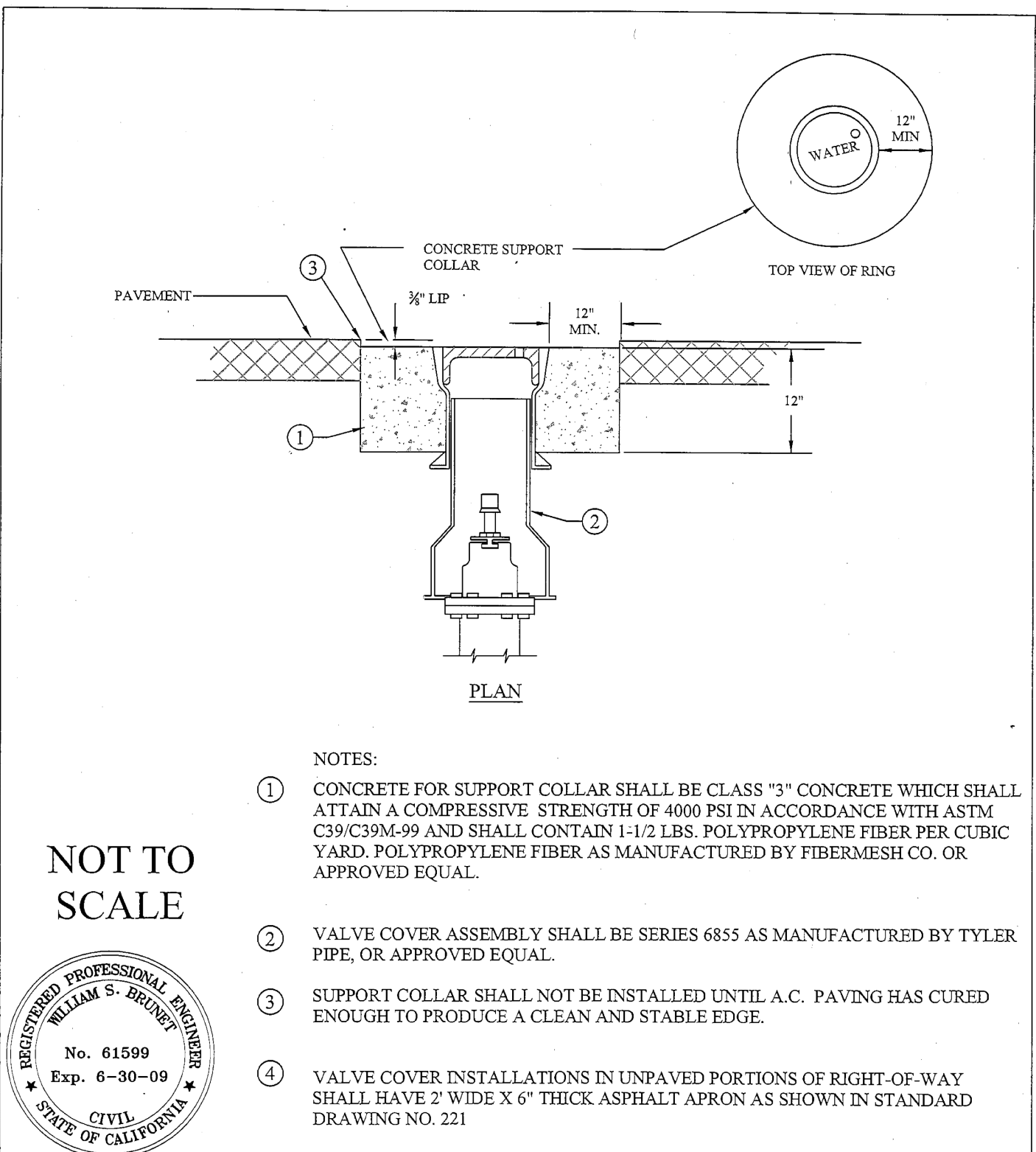


COUNTY of IMPERIAL
DEPARTMENT of PUBLIC WORKS
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PRECAST MANHOLE DETAIL

APPROVED BY: *William S. Brunet* DATE: 11/6/08
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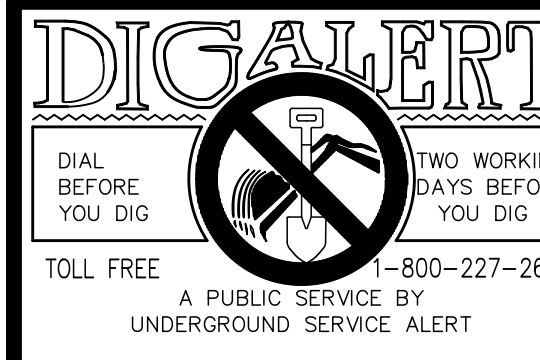


COUNTY of IMPERIAL
DEPARTMENT of PUBLIC WORKS
EL CENTRO, CALIFORNIA

VALVE OPERATOR WELL INSTALLATION

APPROVED BY: *William S. Brunet* DATE: 11/6/08
WILLIAM S. BRUNET, P.E. DIRECTOR of PUBLIC WORKS

REVISIONS	BY:	APPR. DATE:	CHECKED:	DATE:
			F.F.	08/29/08
			E.M.	131



MARK	DATE	REVISIONS	APPR.	DATE

BENCHMARK: NGS 080432 ELEVATION: 990.00 DATUM: NAVD83 + 1000 FEET
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R/W	RIGHT-OF-WAY	VLV.	VALVE
RS	RECORD OF SURVEY	WM	WATER METER
PMB	PARCEL MAP BOOK	(XX.XX)	EXISTING ELEVATION CALLOUT
S	SOUTH		
HYD.	FIRE HYDRANT		



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BENJAMIN DANIEL EGAN, R.C.E. 73070 DATE: 07/07/2022

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UNINCORPORATED TOWNSITE, COUNTY OF IMPERIAL, STATE OF CALIFORNIA
~MIRALUZ~
HEBER, CA 92249
IMPROVEMENT PLANS
DETAILS
CHELSEA DEVELOPMENT

SHEET
C2.2
OF 6 SHEETS
FILE NO. 20190367

PRINTED: 07/07/2022

From: [Heber Public Utility District](#)
To: [L Fischer](#)
Subject: Monthly Metrics Report for Heber Public Utility District
Date: Thursday, September 1, 2022 9:08:16 AM

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Report



Laura, your report is ready.

Hi, Laura

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Recipients

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Engagement Rate*

JULY 2022

1

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